



Planning Commission Meeting Agenda
Regular Scheduled Meeting Thursday, October 12, 2017– 6:30PM
CITY HALL COUNCIL CHAMBERS 300 CHIEF EDDIE HOFFMAN HIGHWAY

MEMBERS

Kathy Hanson
Chair
Term Expires 12/2018

Lorin Bradbury
Vice-Chair
Term Expires 12/2017

John Guinn
Commission Member
Term Expires 12/2018

Council Representative
Term Expires 12/2017

Cliff Linderoth
Commission Member
Term Expires 12/2017

Jon Cochrane
Commission Member
Term Expires 12/2018

Alex Wasierski
Commission Member
Term Expires 12/31/18

Shadi Rabi
Alternate Member
Term Expires 12/31/19

Betsy Jumper
Ex-Officio Member

Pauline Boratko
Recorder

AGENDA

- I. CALL TO ORDER
- II. ROLL CALL
- III. PEOPLE TO BE HEARD – (5 Minute Limit)
- IV. APPROVAL OF THE MINUTES FROM THE SEPTEMBER 14TH REGULAR MEETING
- V. APPROVAL OF THE AGENDA
- VI. NEW BUSINESS
 - A. PUBLIC HEARING: Applicant: The Northwest Company, doing business as Alaska Commercial Company is applying for a Conditional Use Permit in order to open a Package Liquor Store. The legal description is lots 12 & 13 of United States Survey 3230 A/B in the Bethel Recording District. The physical address is 1110 Bridge Street Unit No. 1
 - B. PUBLIC HEARING: Amending the Official Land Use Map of the City of Bethel. Applicant: The City of Bethel. Site Location applied for: Legal Description is Lot 1A and Lot 2, Block 1, of the Courthouse Subdivision, plat number 2006-25 and plat 99-12. The physical address is 204 Chief Eddie Hoffman Highway (The Nora Guinn Courthouse) and 350 Chief Eddie Hoffman Highway (City Hall). The purpose of this action is to allow for multiple uses of the land that is afforded other properties in the area.
- VII. PLANNER'S REPORT
- VIII. COMMISSIONER'S COMMENTS
- IX. ADJOURNMENT

City of Bethel, Alaska Planning Commission

Sept. 14, 2017

Regular Meeting

Bethel, Alaska

I. CALL TO ORDER

A regular meeting of the Planning Commission was held on Sept. 14, 2017 at 6:30 pm in the City of Bethel Council Chambers room, in Bethel, Alaska. Chair Hanson called the meeting to order at 6:30 PM.

II. ROLL CALL

Compromising a quorum of the Commission, the following members were present for roll call: Kathy Hanson, John Guinn, Jon Cochrane, Alex Wasierski, and Shad Rabi. Also present was Ex-Officio City Planner and Recorder Betsy Jumper.

III. PEOPLE TO BE HEARD: *Nobody wished to be heard.*

IV. APPROVAL OF THE AGENDA

MOTION TO APPROVE THE AGENDA OF SEPTEMBER 14, 2017

MOVED:	John Guinn	To approve the agenda.
SECONDED:	Jon Cochrane	
VOTE ON MOTION		
All in favor 5 for and 0 opposed.		

V. APPROVAL OF THE MINUTES

MOTION TO APPROVE THE MINUTES OF THE AUGUST 10th REGULAR MEETING

MOVED:	Jon Cochrane	To approve the minutes.
SECONDED:	John Guinn	
VOTE ON MOTION		
All in favor 5 yes and 0 opposed.		

VI. NEW BUSINESS: None.

VII. PLANNER'S REPORT: Betsy went over the August Planner's report.

VIII. COMMISSIONER'S COMMENTS: No Commissioner had any comments.

VIII. ADJOURNMENT

MOVED:	Jon Cochrane	Motion to adjourn the meeting at 6:45 pm.
SECONDED:	Shadi Rabi	
VOTE ON MOTION		
5 yes and 0 opposed.		

The next meeting will be on October 12, 2017

ATTEST: _____, Kathy Hanson, Chairperson
 _____, Betsy Jumper, Recorder

=====

CITY OF BETHEL PLANNING OFFICE
 Po Box 1388
 Bethel, AK 99559
 (907) 543-5306
 (907) 543-4168 (facsimile)



rec'd via email -4-25-17

**APPLICATION FOR A CONDITIONAL USE PERMIT
 REGULATION OF ALCOHOLIC BEVERAGE USES
 BETHEL MUNICIPAL CODE 5.08 AND BETHEL MUNICIPAL CODE 18.60.20**

Carefully read instructions and applicable City code. Fill out forms completely. Attach information as needed. Incomplete applications will create a delay in the review process.

Application Fee must be attached:	\$200.00	Conditional Use Permit
Payment Type:	<input checked="" type="checkbox"/> Credit Card	<input type="checkbox"/> Check <input type="checkbox"/> Money Order <input type="checkbox"/> Cash

1. General Information

NAME OF APPLICANT:	The North West Company (International) Inc. DBA ACC Liquor Store
Physical Address:	1110 Bridge Avenue, Unit No. 1, Bethel, Alaska 99559
Mailing Address:	77 Main Street, Winnipeg, Manitoba R3C 1A3 Canada Attention: Legal Department
Home Phone Number:	
Work Phone Number:	204-934-1705
Cell Phone Number:	
Email Address:	license@northwest.ca

Please note:

The City of Bethel will not communicate regarding the application with anyone other than the applicant or his/her designated agent. If applicant will be represented by an agent or attorney, proof of consent for representation must be submitted with the application. Also, **State Fire Marshal approval and Dept. of Environmental Conservation** approvals must be included in this application to be complete.

NAME OF PROPERTY OWNER: (If different from Applicant)	
Physical Address:	
Mailing Address:	
Home Phone Number:	
Work Phone Number:	
Cell Phone Number:	
Email Address:	

2. Property Information / Legal Description

Township: Bethel	Range:
Section:	Meridian:
Subdivision:	Block(s): 14
Lot(s): 12 and 13	US Survey or Plat No.: 3230A and B
Street Address: 1110 Bridge Avenue, Unit No. 1, Bethel, Alaska 99559	

3. Conditional Use Description

a. *Please provide a detailed description of the proposed conditional use*
(additional sheets of paper may be attached if necessary):

Retail space for a Package Store Liquor License in the ACC Liquor store located at 1110 Bridge Avenue, Unit No. 1, in Bethel, Alaska.

b. Please comment on any potential impacts on pedestrian and vehicular traffic circulation and safety on roads abutting the property.

This property was previously used as a retail store.
No potential impacts on pedestrian and vehicular traffic circulation.

c. Describe existing parking facilities and whether they can accommodate a reasonably expected increase in demand for parking created by issuing the permit. Include the number of regular and handicap parking spaces currently available and whether the applicant intends to add additional parking spaces.

This property was previously used as a retail store.
It has approximately 15 parking spaces.
There are no handicap parking spaces at this time.
Handicap parking will be added once the license is granted.

d. Describe existing and any planned access to and from the property

The property has a wide entrance into the parking lot.
No changes to the current access are required.

e. Comment on any potential output of noise or dust, fumes, waste, and other forms of potential environmental pollution

No more than any that may already exist.

f. Describe special features and/or restrictions you have designed to minimize negative impacts and to ensure the public health, safety, and welfare of nearby structures and residents

The store will be open only minimal hours in the evening to minimize any potential negative impacts.

g. What are the dimensions of the structure within the proposed use?

See attached Floor Plans.

4. Mapping

a. Provide a map or plat of the general area surrounding the parcel. The map must include street names and notations of the uses and structures that exist on the abutting and nearby lots. Indicate access to and from the property.
b. If applicable, attach a site plan permit application
c. List all buildings and structures located within 600' of the property (whether or not owned by the applicant): North Star Gas Touch of Glass City Dock Residential homes See attached Map.
d. Attach a notice form conforming to all of the requirements set out in Bethel Municipal Code, Section 18.04.070. The notice must, at a minimum, include the following information: <ol style="list-style-type: none">1. The name of the owner of the parcel that is the subject of the application;2. The name of the person who made the application if not the owner;3. A description of the action sought in the application;4. A description of the location and a legal description of the subject parcel; and5. Space for the City to insert the date, time and place of a hearing.

5. Owner's Statement

<ol style="list-style-type: none">1. I hereby apply for approval for an alcoholic beverage use conditional use permit on the above property as described in this application.2. I understand all activity must be conducted in compliance with all applicable standards of the Bethel Municipal Code, Chapters 5.08, 18.04 and 18.60 and with all other applicable State or Federal laws.3. The information submitted in this application is accurate and complete to the best of my knowledge.	
Applicant's Signature:	
Printed Name:	The North West Company (International) Inc. DBA ACC Liquor Store
Date: 4.24. 2017	JEFF CICHOSZ

If property is owned by someone other than the applicant, the owner must consent to the application:

Owner's Signature:	
Printed Name of Owner:	
Mailing Address for Owner:	
Contact Number for Owner:	

FOR OFFICIAL USE ONLY		
For answers that indicate a deficiency, a detailed explanation must be attached explaining the deficiency and outlining the City's request to the applicant.		
1. Will the granting of the conditional use permit be harmful to the public health, safety, convenience, and welfare?	Yes	No
2. Are sufficient setbacks, lot area, buffers, and other safeguards being provided?	Yes	No
3. Is there any potential negative effect on the safe, efficient flow of traffic on any highway, arterial, collector Or street from which access to and from the establishment is obtained?	Yes	No
4. What measures are being proposed to reduce any negative effect upon the number of entries and exits on the frontage road or highway?	Yes	No
5. Are there adequate parking facilities to accommodate a reasonably expected increase demand for parking created by issuing the permit?	Yes	No
6. Will access to and from the premises create an unreasonable traffic hazard?	Yes	No
7. Will a reasonably expected increase in traffic to the property overtax the existing road system?	Yes	No
8. Is the use compatible with the character of the surrounding neighborhood?	Yes	No
9. Is the property located in a flood zone?	Yes	No
10. Does there appear to be adequate existing or proposed water supply and sewage capacity on the property?	Yes	No
11. What is the zoning designation of the property?		

GENERAL NOTES

Revision	By	Date

Do not scale this drawing. All measurements in this drawing shall be taken from the original drawing. The North West Company is not responsible for any errors or omissions in this drawing. The North West Company is not responsible for any errors or omissions in this drawing. The North West Company is not responsible for any errors or omissions in this drawing.

THE
Stark
NORTH WEST
COMPANY

77 1/2nd Street, Anchorage, Alaska, 99501
Phone: (907) 551-1432
Fax: (907) 551-1330

Project Title:
ALASKA COMMERCIAL COMPANY
BOTHEL, ALASKA
RIVER HOUSING PROPOSAL

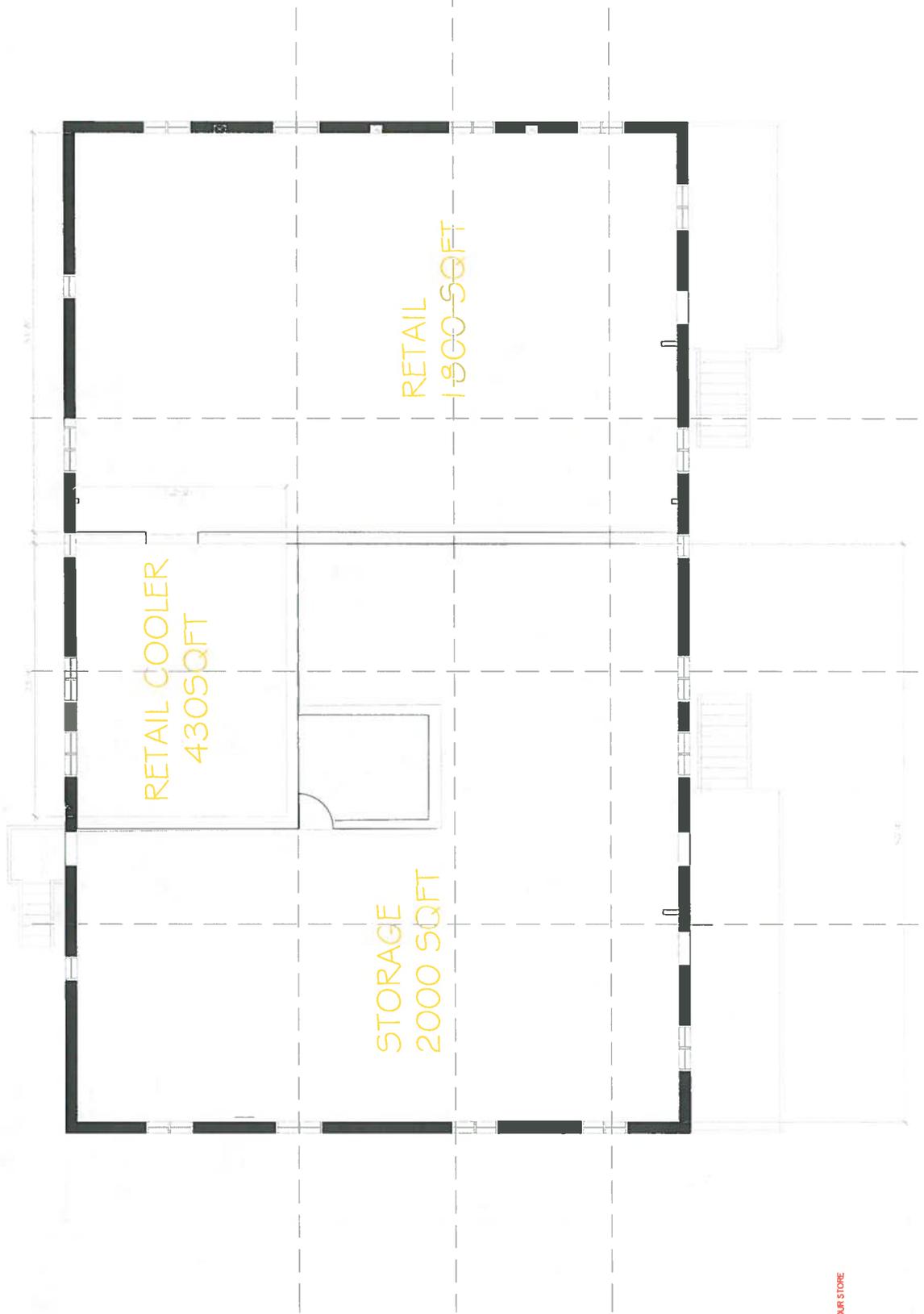
Drawing Title:
FLOOR PLAN 4-FLEX

Date: 07/22/2011
Scale: 1/4" = 1'-0"
Sheet:
By: A.M.J.D.K.

2-2
SHEET 1/1



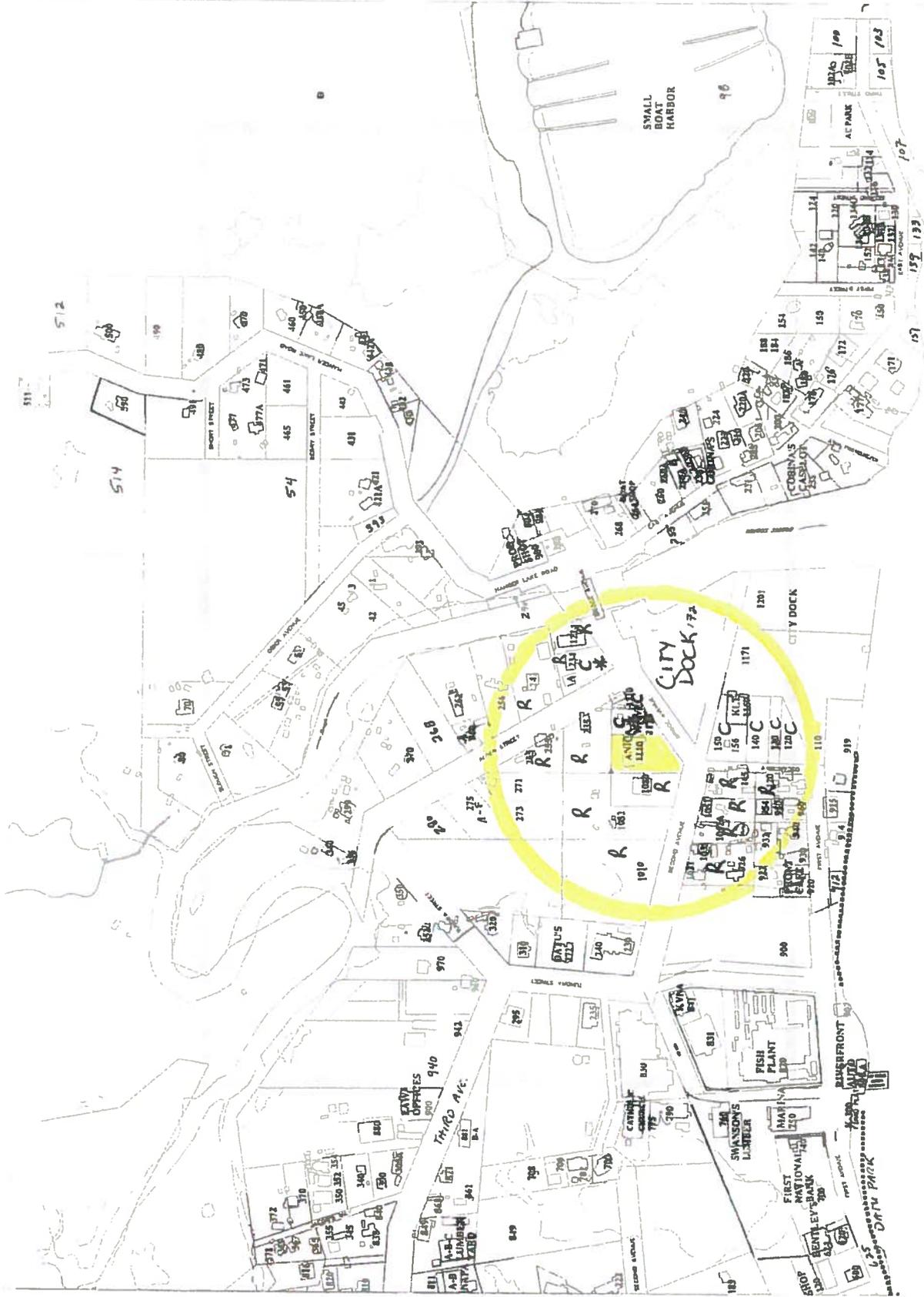
FLOOR PLAN
SCALE 1/4" = 1'-0"



ADDRESS MAP

Brown's Slough, Small Boat Harbor

1



* Touch of Glass
 ** North Star Gas
 C = Commercial
 R = Residential

PUBLIC HEARING NOTICE

Conditional Use Permit

Notice is hereby given that on _____ (Date), the City of Bethel Planning Office received from The North West Company (International) Inc., doing business as, ACC Liquor Store (the "Applicant"), an application for a Conditional Use Permit for a liquor license. The Applicant plans to operate a Package Store Liquor License at 1110 Bridge Avenue, Unit No. 1 in Bethel, Alaska.

Land Owner: The North West Company (International) Inc.

Applicant: The North West Company (International) Inc., doing business as,
ACC Liquor Store

Physical Address: 1110 Bridge Avenue, Unit No. 1, Bethel, Alaska 99559

Legal Description: Lots 12 and 13, Block 14, U.S. Survey No. 3230A and B,
Townsite of Bethel, filed in the Bethel Recording District,
Fourth Judicial District, State of Alaska

The public hearing of the City of Bethel Planning Commission is scheduled to be held on _____ (Date) at _____ (Time) at City Hall, located at 300 Chief Eddie Hoffman Highway in Council Chambers.

State of Alaska
Office of the State Fire Marshal
Plan Review

This is to certify that the plans for this building were reviewed by the *State Fire Marshal* on August 18, 2017 for conformance with AS 18.70.010 -- 100; 13 AAC 50.027.

This certificate shall be posted in a conspicuous place on the premises named ACC Liquor Store - Bethel and shall remain posted until construction is completed.

NOTICE: Any changes or modifications to the approved plans **must** be resubmitted for review by the *State Fire Marshal*.

Plan Review #: 2017Anch1331

By: _____



Jarrett Zuspan
Plans Examiner

Authority: AS 18.70.080
Form: 12-741
(6/01)

Conditional Use Approval



113 W. Northern Lights Blvd
Suite 200
Anchorage, AK 99503

September 21, 2017

Alaska Commercial Co.
550 W 64th Ave #200
Anchorage Ak, 99518

RE: Letter of Non-Objection to Shared Driveway in Bethel Alaska

Dear Mr. Cichosz,

Vitus Energy LLC (Vitus) understands that Alaska Commercial Co is seeking to place a liquor store at your property located adjacent to the Vitus facility located as 1210 Chief Eddie Hoffman Highway in Bethel Alaska. Vitus further understands that the City of Bethel requires a 50' clearance from a driveway centerline to the closest driving lane and that use of the southwest side of the current driveway at 1210 Chief Eddie Hoffman Highway would be required by AC Store to accomplish this clearance.

Vitus will share use with AC Co. the use of the adjacent driveway in the extent required to satisfy the relevant city ordinance should a liquor license be granted.

Please feel free to contact me should you have any questions or further needs in this matter.

Signed,

A handwritten signature in blue ink, appearing to read "Adam Turner", is written over a light blue horizontal line.

Adam Turner,
Director of Terminals

Chapter 18.60 CONDITIONAL USE PERMIT (CUP) STANDARDS AND PROCEDURES

Sections:

- 18.60.010 Authorization.
- 18.60.020 Application.
- 18.60.030 Hearing and notification.
- 18.60.040 Staff review.
- 18.60.050 Planning commission review.
- 18.60.060 Standards for planning commission decision.
- 18.60.070 Lapse of approval.

18.60.010 Authorization.

A. The planning commission may grant a conditional use permit for those uses or structures authorized as a conditional use in the applicable land use district chapter of this title, subject to the standards provided in this chapter. An applicant does not have a right to a conditional use permit, but has a right only to have the planning commission give fair consideration to an application for a conditional use. The planning commission has discretion to deny a conditional use permit application if it is not convinced the proposed use is compatible with principal permitted uses, existing neighborhood development, the environment, the comprehensive plan or maintenance of compatible and efficient development patterns.

B. If conditions are imposed on a conditional use permit, the planning commission may delegate authority to the land use administrator to issue the conditional use permit when the conditions have been met. [Ord. 16-27 § 2; Ord. 01-05 § 8.]

18.60.020 Application.

A. The applicant shall complete a conditional use permit application on a form provided by the planning department in which the applicant shall state and describe in narrative:

1. A legal description and street address of the parcel;
2. The names and addresses of the owners of the parcel and of the applicant;
3. A description of the proposed conditional use;
4. A map or plat of the general area surrounding the parcel, with notations of the uses and structures that exist on abutting and nearby lots;
5. Potential impacts on pedestrian and vehicular traffic circulation and safety;
6. Potential output of noise, fumes, dust, wastes and other forms of potential environmental pollution;
7. Special features and restrictions designed to minimize negative impacts and to ensure the public health, safety and welfare of the residents;

8. A complete site plan permit application for the proposed use, including fill placement, quantities and contours and drainage plans;

9. If any part of the project is located in a flood hazard area or in an area where the project may adversely affect drainage or floods in a flood hazard area, the proposal shall address the relevant matters and standards covered by BMC 15.08.160 through 15.08.180;

10. The names and addresses of all persons who own property within six hundred (600) feet of the boundaries of the parcel.

B. A fee shall be included as established by resolution of the city council. [Ord. 01-05 § 8.]

18.60.030 Hearing and notification.

A. Upon receipt of a complete application for a conditional use permit, the land use administrator shall set a date for public hearing before the planning commission. The public hearing shall be scheduled no sooner than twenty (20) calendar days and no later than fifty (50) calendar days from the date of acceptance of a complete application.

B. Notice of the public hearing on a proposed conditional use shall be provided as set out in BMC 18.04.070. [Ord. 01-05 § 8.]

18.60.040 Staff review.

A. The land use administrator shall review the conditional use permit application and the accompanying site plan permit application for completeness and request any additional material required. Upon determining that the application is complete, the land use administrator shall prepare a staff report with analysis and recommendations. The report shall specifically address drainage on the parcel. The land use administrator may recommend any conditions reasonably necessary for the proposed use to permit the conclusions required under subsection B of this section. The written staff report containing the analysis, proposed conditions and conclusions shall be provided to the planning commission with their meeting materials one (1) week prior to the public hearing.

B. The land use administrator may make a recommendation for approval only when the proposed use and conditions clearly support the following conclusions:

1. The proposed conditional use will not be detrimental to the general public health, safety or welfare or to the environment;

2. The conditional use meets the standards otherwise applicable to a use in the applicable land use district;

3. There are adequate existing or proposed sewage capacity, transportation facilities, parking area, drainage facilities and water supply to serve the proposed conditional use without causing a substantial negative impact on the existing level of services provided by such public facilities;

4. The conditional use conforms to the intent and purposes of the land use code that are set out in BMC 16.04.010;

5. The use and structures proposed are of an appropriate character and scale for the neighborhood in which the project will be located, including parts of the neighborhood that may lie outside the land use district within which the parcel is located;
6. The conditional use is in accordance with and furthers the goals and policies of the comprehensive plan;
7. The proposed use will not subject surrounding properties nor vehicles and pedestrians using nearby streets and ways to hazardous or substantially increased traffic conditions;
8. There is a demonstrated need for the conditional use limited primarily to the area proposed, or, if the use will generally serve a larger area, then a demonstration that the use is essential to the city generally, and because of a feature of the property, the general need can be met by the property, but cannot be met as a principal permitted use on other property in the city;
9. The use, under the conditions proposed, will be compatible with existing and principal uses authorized and will not cause negative impacts on nearby property, including impacts from drainage, that exceed the impacts that would ordinarily be expected from principal permitted uses of the property that is the subject of the application;
10. If any part of the project is located in a flood hazard area or in an area where the project may adversely affect drainage or floods in a flood hazard area, the conditions proposed adequately address the relevant matters and standards covered by BMC 15.08.160 through 15.08.180.
[Ord. 01-05 § 8.]

18.60.050 Planning commission review.

- A. The applicant or an authorized representative shall be present at the public hearing, informed and available for questions relative to the proposed project. The planning commission may take action on the agenda item even if the applicant or an authorized representative is not present at the public hearing. The planning commission may deny the project based entirely on failure of the applicant or an informed, authorized representative to be available at the hearing.
- B. The planning commission shall consider the matter at a public hearing. The commission shall consider the application, the land use administrator's staff report, any written comments from members of the public submitted prior to the public hearing, and oral comments made at the public hearing.
- C. During all phases of the public hearing, any speaker shall address the chairperson prior to making any comment. If any person wishes to question any other person in attendance, the question shall be directed through the chairperson. All public hearings shall be conducted in the following manner:
 1. The chairperson shall explain the hearing procedure;
 2. Planning department staff shall present a staff report and recommendations regarding the subject project;
 3. The planning commissioners shall ask staff any questions they may have regarding the staff review and recommendations;

4. The applicant shall be given the opportunity to explain the nature of the project and any other relevant information, including rebuttal or additional information regarding any of the correspondence received and matters raised by the staff or the commission;

5. Planning commissioners may ask the applicant any questions they may have about the project;

6. The neighbors or any other interested persons will be given the opportunity to speak. The chairperson will read all written comments submitted regarding the proposed project or copies shall be provided to each commission member. Information provided should be limited to facts. Persons who have given testimony previously during the hearing may comment on any new information limiting comments to new information only. The chairperson may limit repetitious testimony based on time constraints or other situations which may arise;

7. Members of the planning commission may ask any questions of neighbors or other interested persons;

8. The applicant shall be given the opportunity to rebut factual matters raised by the staff, neighbors and other interested persons;

9. After the applicant has given rebuttal evidence and summarized, the staff shall be given an opportunity to comment on evidence presented and to make new or amended recommendations.

D. The planning commission may make a decision to approve, conditionally approve, or deny the project. The commission may also decide to take the matter under advisement or continue the hearing or commission discussion to a future date in order to allow time to acquire more information as needed. The planning commission and the planning staff shall be given the opportunity to comment during and between any of these steps.

E. The commission shall make a decision based upon the standards specified in BMC 18.60.060. The commission may impose any conditions reasonably necessary for the proposed use to comply with the standards listed in BMC 18.60.060. If the planning commission does not adopt the land use administrator's recommendations and conclusions, it must support its findings with a statement of findings and conclusions, which shall be included in the official minutes of the hearing and in the resolution approving or disapproving the conditional use. [Ord. 01-05 § 8.]

18.60.060 Standards for planning commission decision.

A. The planning commission may approve a request for a conditional use permit only if it makes findings, supported by the record, as are set out in BMC 18.60.040(B)(1) through (10).

B. Where the approval of a conditional use permit application would result in a mix of residential and nonresidential uses, any approval of the conditional use may impose conditions and design standards necessary:

1. To ensure the public health, safety, and welfare of residents; and
2. To minimize or eliminate adverse impacts on residential property.

C. All standards contained in this chapter are minimum standards. More restrictive conditions may be imposed by the planning commission where necessary to ensure the public health, safety, and welfare of Bethel's citizens and to maintain consistency with the comprehensive plan and the purposes of this title as set out in BMC 16.04.010.

D. A site plan permit must be obtained following the granting of a conditional use permit and prior to the establishment of the use or structure for which the conditional use permit was sought. [Ord. 01-05 § 8.]

18.60.070 Lapse of approval.

A. Unless a longer time is specifically established as a condition for approval, a conditional use permit approval shall lapse and shall become void if not exercised within one (1) year from the date of approval. For a permit to be considered "exercised," substantial improvement to the land must be performed within one (1) year from the date of approval. Substantial improvement is the completion of fifty (50) percent or more of the total authorized improvements as specified on the subject permit as measured by cost. If the conditional use permit is primarily for a use not involving substantial improvements to the land, the permit is "exercised" when the use commences and continues for thirty (30) days or more.

B. A conditional use permit approval subject to lapse may be extended by the planning commission for an additional period of up to one (1) year; provided, that prior to the expiration date, a written request for extension is submitted to the planning commission and good cause for the extension is shown. [Ord. 01-05 § 8.]

The Bethel Municipal Code is current through Ordinance 17-37, and legislation passed through June 27, 2017.

Disclaimer: The City Clerk's Office has the official version of the Bethel Municipal Code. Users should contact the City Clerk's Office for ordinances passed subsequent to the ordinance cited above.

Memo

TO: City of Bethel Planning Commission
FROM: Betsy Jumper, Planner
SUBJECT: Findings and Recommendation for Conditional Use Permit
Application Submitted by ACC
DATE: 10-12-17

Background

Northwest Company, dba as Alaska Commercial Company (ACC) seeks a Conditional Use Permit to open a package liquor located at 1110 Bridge St. Unit No. 1 in Bethel, Alaska. Per Bethel Municipal Code Section 5.08.060 (Alcoholic Beverages), a Conditional Use Permit is required for alcohol sales.

The Conditional Use Permit provides additional review of land uses, which are generally considered appropriate in certain zoning districts provided that appropriate safeguards are considered to ensure their compatibility with permitted principal uses. The conditional use permit procedure is intended to allow more scrutiny on the impact of the proposed conditional use on surrounding property, and the application of controls and safeguards to assure that the conditional use will be compatible with the surrounding area.

Below is Code Section 18.60.040 (Conditional Use Permit) followed by 10 questions answered by staff regarding the location of the proposed conditional use. The answers to these questions form the basis for the Planner's recommendation to the Planning Commission.

BMC 18.60.040 Staff Review

A. The land use administrator shall review the conditional use permit application and the accompanying site plan permit application for completeness and request any additional material required. Upon determining that the application is complete, the land use administrator shall prepare a staff report with analysis and recommendations. The report shall specifically address drainage on the parcel. The land use administrator may recommend any conditions reasonably necessary for the proposed use to permit the conclusions required under subsection B of this section. The written staff report containing the analysis, proposed conditions and conclusions shall be provided to the planning commission with their meeting materials one (1) week prior to the public hearing.

B. The land use administrator may make a recommendation for approval only when the proposed use and conditions clearly support the following conclusions:

Staff Findings

1. The proposed conditional use will not be detrimental to the general public health, safety or welfare or to the environment.

Chapter 5.08.030 (J) of the Bethel Municipal Code refers to the proximity of liquor sales to certain establishments such as a school or alcohol inpatient or outpatient treatment facility.

There is no school or alcohol treatment facility within 200 feet of the proposed site.

2. The conditional use meets the standards otherwise applicable to a use in the applicable land use district.

ACC Liquor would be located in a General Use District next to the Brown Slough Bridge (***See attached City of Bethel Official Land Use Map. Map***). This district is intended to allow for a mix of compatible residential and commercial uses. This same structure was used in the past as a retail facility for many years –and is surrounded by other commercial structures as well. It is currently being utilized as AC Manager apartments.

3. There are adequate existing or proposed sewage capacity, transportation facilities, parking area, drainage facilities and water supply to serve the proposed conditional use without causing a substantial negative impact on the existing level of services provided by such public facilities.

There is no planned expansion of the existing structure; the footprint of the building will remain the same.

Planned Parking: Per BMC 18.48.160 D., there is a “Retail Sales and Service” parking requirement of one space per 300 feet of gross floor area. The proposed store is a total of 4538 square feet. This will require 15 parking spaces. There is adequate parking space to accommodate this requirement. (***See attached ACC parking drawing***).

The closest intersection (Oscar Way) is approximately 70’ away, well within the 50’ minimum as required in the BMC 18.48.200 Driveway Standards, E.1.

Vitus Gas Station wrote a letter of non-objection to a shared driveway that gives ACC access to utilize a portion of Vitus' driveway.

Drainage/Water & Sewer: Short-term customers will not affect the current capacity of water and sewer facilities on the premises. According to the Public Works Department, there are no drainage issues.

4. The conditional use conforms to the intent and purposes of the land use code that are set out in BMC [16.04.010](#);

The proposed Conditional Use conforms to the intent and purposes of the land use code that are set out in BMC 16.04.010 (***see code directly below***)

16.04.010 Purposes.  SHARE

A. In addition to the purposes set out in each title, the purposes of BMC Titles [15](#), [16](#), [17](#), and [18](#) together are to:

1. Promote a logical growth pattern within the city and the economic extension of public services and facilities;
2. Encourage the most appropriate use of land throughout the city;
3. Reduce congestion in the streets;
4. Enhance safety from fire, flooding and other dangers;
5. Provide adequate light, air and open space;
6. Preserve property values;
7. Prevent the overcrowding of the land;
8. Avoid undue concentration of population;
9. Facilitate adequate provisions for transportation, water, sewage, drainage, schools, parks and other facilities;
10. Assure that development does not adversely affect either the ability of the city to deliver public services or the safety of property and the health, safety and welfare of persons;
11. Assure that the burdens placed on public facilities by development are borne by the development;
12. Promote the public health, safety and welfare.

B. BMC Titles [15](#), [16](#), [17](#) and [18](#) shall be interpreted and administered to complement each other and so as to implement the purposes set out in subsection A of this section. [Ord. 10-15 § 4.]

Except the highlighted #3 above (reducing congestion in the streets), the proposed Conditional Use conforms to the intent and purposes of the land use code that are set out in BMC 16.04.010. This ACC Liquor store may cause congestion, but also it may reduce traffic congestion at the other AC Liquor store location.

5. The use and structures proposed are of an appropriate character and scale for the neighborhood in which the project will be located, including parts of the neighborhood that may lie outside the land use district within which the parcel is located.

The planned site is surrounded by commercial businesses (***see attached 600' Foot Radius Map***). Within a 600 foot radius of the proposed ACC Liquor store, there are the following uses: A Touch of Glass retail shop, the Vitus Gas station, the City of Bethel Port and dockyard, Alaska Logistics Warehouse, The Front Street Café, and several residences, (the nearest residence is approximately 20 feet away). Brown's Slough is approximately 400 feet away.

6. The conditional use is in accordance with and furthers the goals and policies of the comprehensive plan.

The proposed conditional use is in accordance with the City of Bethel Comprehensive Plan 2035, adopted in 2011. Under the Goals and Strategies Section of Chapter 4 (Land Use, Housing, and the Environment), the relevant sections, "Growth Patterns" and "Land Use Compatibility" both deal with development site location.

Goal #2 under "Growth Patterns" encourages future growth to locate near existing employment centers and public services (***see page 4-8 of the attached section of the Bethel Comprehensive Plan***). The planned location of this new business in an existing building of past retail activities adheres to the associated Action step #1b that encourages infill of development.

Under the Land Use Compatibility section (***see page 4-11 of the attached section of the Bethel Comprehensive Plan***), Goal #3 provides for compatibility among adjoining land uses so that future development maintains or improves the quality of life or land value of surrounding uses". The associated Map 4.4 (***Future Land Use Plan Map - see page 4-10 of the attached section of the Bethel Comprehensive Plan***) is a long-term vision of how and where the city will grow and change over the next 20 years to accommodate expected population and job growth (versus the current City's Zoning Map which designates how land can be used and what can be built on any given property **today**). The Future Land Use Map indicates a change from the current General Use District (mix of compatible residential and commercial uses) to an Industrial/Commercial District for this proposed site.

7. The proposed use will not subject surrounding properties nor vehicles and pedestrians using nearby streets and ways to hazardous or substantially increased traffic conditions.

It would be expected that the ACC Liquor Store would bring more traffic to the area. Currently, the area can be busy; boats and cars come to the Gas Station, and many villagers come in off Brown Slough too, so there is both traffic and pedestrians, in all seasons.

8. There is a demonstrated need for the conditional use limited primarily to the area proposed, or, if the use will generally serve a larger area, then a demonstration that the use is essential to the city generally, and because of a feature of the property, the general need can be met by the property, but cannot be met as a principal permitted use on other property in the city.

The planned location of ACC Liquor store fits in the General Use District (mix of commercial and residential). Other commercial establishments as well as residences surround the site. It is anticipated that customers coming to ACC Liquor would come from all over the city.

9. The use, under the conditions proposed, will be compatible with existing and principal uses authorized and will not cause negative impacts on nearby property, including impacts from drainage, that exceed the impacts that would ordinarily be expected from principal permitted uses of the property that is the subject of the application. (See attached ACC Liquor Store Architect Drawing).

The planned location for ACC Liquor is on a previous retail site, surrounded by a variety of commercial and residential activities. There will be no impact on drainage from the business.

10. If any part of the project is located in a flood hazard area or in an area where the project may adversely affect drainage or floods in a flood hazard area, the conditions proposed adequately address the relevant matters and standards covered by BMC [15.08.160](#) through [15.08.180](#). [Ord. 01-05 § 8.]

The proposed site of ACC Liquor is located in an existing general use area. The area is also located in an identified flood hazard area. Construction in the flood hazard area requires a Site Plan Permit. However, the ACC Liquor plan is to use the existing building on the site, combined with no plan to extend the building footprint. Therefore, a Site Plan Permit is not required at this time.

See photos #1-6 of the area.

Recommendation/Concerns

The requirements of the BMC have been met.

If the Planning Commission approves this CUP, it should be cautioned that the Vitus letter of non-objection to share a driveway is non-binding—it could possibly be taken away at any time. So, if approved, the Planning Commission is urged to do so with the Condition that the applicant obtain an Easement from Vitus.

Growth Patterns

GOAL 2: Encourage future growth to locate near existing employment centers and public services. Coordinate plans affecting the location of growth with plans for the location of water, wastewater and roads, as economically feasible.

Strategy 1: Explore policies (including infill and redevelopment) that could be used to encourage development of lands within or adjoining existing developed areas that have the potential to accommodate new growth.

Action 1a: Identify and map areas within or adjoining existing developed areas that have the potential to accommodate new growth; these include vacant or underutilized lands served by roads, with good access to public services and employment.

Candidate areas include:

- *The developed areas of "downtown Bethel."*
- *Undeveloped land immediately adjoining downtown Bethel, for example, the land adjoining the easternmost of the possible "donut hole" road routes – a new north-south road and water/sewer line just west the existing downtown Bethel.*
- *River front land downriver from the existing port, and the vicinity of the East Harbor.*

Action 1b: Review and work to remove barriers that discourage infill and redevelopment (e.g., lack of access to properties, excessive restrictions in the BUC).

Action 1c: Create appropriate incentives for individual landowners to redevelop property and/or carry out infill projects that would otherwise not be feasible.

This might include assisting land owners apply for façade improvement grants, energy-related building upgrades or temporary reductions in taxes (this latter is a strategy that typically applies in communities with property taxes, and may not be possible in Bethel).

Action 1d: Plan for and develop expanded infrastructure, as needed, to support priority uses.

For example, water and sewer lines serving expanded or relocated port facilities.

Policy 1e: Protect the interests of current users as land is redeveloped.

For example, if the City partners with a private developer in redeveloping land currently used for housing, take steps to provide affordable housing available to households currently living on the property.

Strategy 2: Remove regulatory hurdles and/or create incentives for more concentrated development.

Action 2a: Review and revise (as necessary) Bethel's existing parking requirements; where possible, reduce parking requirements and encourage shared parking or access for alternative transportation modes (e.g., pedestrian facilities, public transit).

Public discussion indicated some concern about new retail businesses having adequate off-street parking. BMC Chapter 18.48 Article II. Off-Street Parking and Loading includes parking requirements for all uses. If there is a lack of parking, this code could be revised to require additional spaces. However, if development is concentrated (particularly in central commercial areas) and transportation policies promote alternative modes (e.g., sidewalks for walking or bicycling, legal access for snowmachines), the need for off-street parking can be reduced. Likewise, the need for larger parking areas can be reduced through the use of shared parking arrangements.

Land Use Compatibility

GOAL 3: Provide for compatibility among adjoining land uses, so future development maintains or improves the quality of life or land values of surrounding uses.

Strategy 1: Review and revise Bethel land use regulations.

Action 1a: Examine existing Bethel code and existing land uses; revise and simplify land use designations to better fit the reality of Bethel's mixed use land use patterns.

A first suggestion for these uses includes the following categories:

- *Low density residential areas*
- *Mixed use - residential primary (residential and limited, residential-compatible uses)*
- *Mixed use (mix of commercial & residential, fewer constraints on size and character of commercial).*
- *Industrial/heavy commercial zone,*
- *Public Use*
- *Airport and related uses*

Action 1b: Use the generalized future land use designations in the Land Use Plan Map (Map 4.4), which broadly identifies areas intended for various uses, as the starting point for revising the zoning code in BMC Title 18 (Bethel zoning code).

For example,

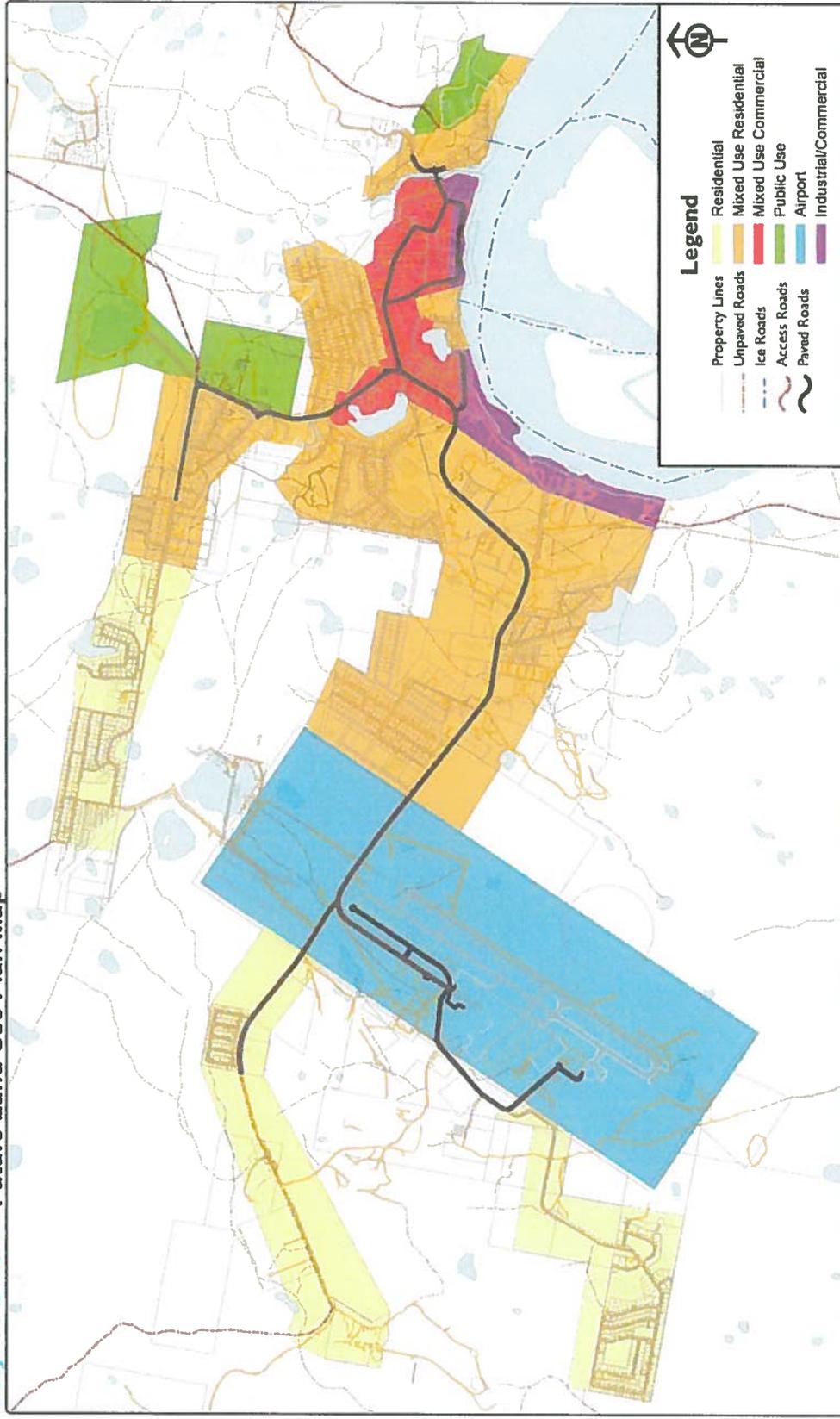
- *Low density residential areas. This zone takes in several specific subdivisions, e.g., Tundra Ridge, Larson and Blueberry. In these areas uses should be generally limited to residential uses. Exceptions would be for small home-based businesses with minimal off-site impacts, or perhaps neighborhood serving commercial, such as a small grocery store.*
- *Mixed use. This use is intended to be the most common land use zone, made up of residential and residential-compatible uses. Examples of residential compatible uses include schools and other community serving, non-industrial facilities, and churches, office and professional services uses (e.g. health facilities), and neighborhood-serving commercial*
- *Industrial/Heavy Commercial. This zone is intended for uses that are generally incompatible with residential, and consequently need to be located where they do not disrupt adjoining residential or residential-compatible uses. This zone includes such uses as warehousing, storage, construction-related industries, marine and aviation-related industries. Key industrial locations include the tank farm, the port, the airport and portions of the waterfront between Second Avenue and the waterfront and the airport.*

Action 1c: Modify code to require a conditional use review process for large-scale uses or any other use likely to have significant off-site impacts.

Examples of such projects include a large scale public building, or a private use such as car repair.

Map 4.4

City of Bethel Future Land Use Plan Map



City of Bethel, Alaska
 Bethel, Alaska
 This map was prepared for the City of Bethel with assistance from Agnew Beck Consulting
 Alaska State Plans, Zone 4, MAD 1583
 File: Bethel_Consulting 11/22/10

ZONING DISTRICTS

Definitions, Principle Uses, and CUPs

1. 18.20 PRESERVATION DISTRICT

The preservation district is intended to apply to significant wetlands and drainage ways that should be preserved as open areas or to which careful attention must be given to development that would disturb the wetlands or affect the drainage ways.

Principle Uses

- A. Greenbelts.
- B. Trails and boardwalks that do not require the use of fill material.
- C. Subsistence and recreational uses that do not require the use of fill material.
- D. Any accessory use or structure that does not require the use of fill material. [Ord. 01-05 § 8.]

Conditional Uses

- 1. Subsistence, recreational, and accessory uses and structures that require fill;
- 2. Trail, walkways, boardwalks, and roads that require the use of fill;
- 3. Agricultural uses;
- 4. Single-family, duplex, triplex and apartment residential uses; provided, the use of freezer vans as residential units is prohibited;
- 5. Planned unit development;
- 6. Commercial uses permitted as a principal use in the GU district;
- 7. Public and institutional uses permitted as principal uses in the PLI district;
- 8. Landing strips and air taxi services.

2. 18.24 PUBLIC LANDS AND INSTITUTIONAL DISTRICT

The public lands and institutional district is intended to apply to undeveloped public lands not dedicated for open space, and public and quasi-public institutional uses, including government office buildings, facilities, and existing land reserves for public and institutional use. [Ord. 01-05 § 8.]

Principle Uses

- A. Greenbelts and land reserves.
- B. Trails and boardwalks.
- C. Sewer facilities and water supply facilities.
- D. Utility facilities.
- E. Any accessory use or structure associated with the principal use or structure on the lot. [Ord. 01-05 § 8.]

Conditional Uses

- A. Parks, playfields, and playgrounds.
- B. Museums, historic and cultural exhibits.
- C. Educational institutions, including public, private or parochial academic schools, colleges, and universities.
- D. Hospitals, sanitariums, children's homes, group homes, nursing homes, convalescent homes, homes for the aged, and similar homes.
- E. Cemeteries.
- F. Churches and synagogues, along with the customary accessory uses, including administrative offices, parsonages, day nurseries, kindergartens and meeting rooms.
- G. Headquarters or administrative offices for charitable organizations and similar quasi-public organizations of a noncommercial nature.

- H. Governmental office buildings.
- I. Radio and television transmission towers and antennas, not including amateur radio and citizen band radio antennas that are accessory to a residential use.
- J. Recreation uses.
- K. Governmental service shops, maintenance and repair centers, and equipment storage yards.
- L. Private roads and parking areas.
- M. Animal control facility.
- N. Other public buildings and uses.
- O. Landing strips and air taxi services.
- P. Other uses and structures that are compatible with existing development and support or supplement existing development. [Ord. 01-05 § 8.]

3. 18.28 OPEN SPACE DISTRICT

The open space district is intended to provide undeveloped open space, to protect trails, to provide open areas for recreation, and to provide buffers between incompatible districts. [Ord. 01-05 § 8.]

Principle Uses

- A. Trails and boardwalks.
- B. Nonmotorized public access areas to the Kuskokwim River or other areas that require public access.
- C. Public recreation areas.
- D. Greenbelts and buffers.
- E. Subsistence uses. [Ord. 01-05 § 8.]

Conditional Uses

- A. Parks, playgrounds and playfields.
- B. Parking area related to a permitted or conditional use.
- C. Moorage of skiffs in a designated area.
- D. Motorized vehicle (including snowmachine and four-wheeler) access areas to and from the Kuskokwim River.
- E. Landing strips and air taxi services. [Ord. 01-05 § 8.]

4. 18.32 RESIDENTIAL DISTRICT

The intent of the residential district is to provide protection to residential areas from encroachment from nonresidential activities.

Principle Uses

- A. Trails and boardwalks.
- B. Nonmotorized public access areas to the Kuskokwim River or other areas that require public access.
- C. Single-family dwelling units.
- D. Duplex uses.
- E. Greenbelts and land reserves.
- F. Subsistence activities.
- G. Any accessory use or structure associated with the principal use or structure on the lot. The use of a freezer van for any purpose is specifically prohibited; except, during the construction or substantial improvement of the primary structure on a lot, a freezer van used solely for storage of construction materials and equipment may be located on the lot for a period not to exceed twelve (12) months unless, for good cause shown, the time is extended in writing by the land use administrator.
- H. The facilities of sewer, water and other utilities required to serve the lots in the district.

I. Home occupations, but not more than two (2) per dwelling unit. [Ord. 01-05 § 8.]

Conditional Uses

The following uses and structures are permitted in the R district under the terms of a conditional use permit.

- A. Triplex and residential apartment buildings.
- B. Planned unit developments.
- C. Professional offices.
- D. Parks, playfields, and playgrounds.

5. 18.34 NEIGHBORHOOD COMMERCIAL (Not shown on Zoning Map)

The intent of the neighborhood commercial district is to establish and maintain places for limited retail sales and services that are accessible and convenient to nearby residents. The NC district is applied to areas serving only a limited, local market and is intended to permit only those uses which do not create adverse impacts that are incompatible with nearby residences. [Ord. 01-05 § 8.]

6. 18.35 DOWNTOWN COMMERCIAL (Not shown on Zoning Map)

The intent of the downtown commercial district is to create a concentrated area of retail, financial, and public institutional facilities in order to encourage the development of interrelated uses and functions, reduce pedestrian walking distance between activities, and ensure the development of compatible pedestrian-oriented uses in the downtown commercial district. [Ord. 01-05 § 8.]

7. 18.36 GENERAL USE DISTRICT

The general use district is intended to allow a mix of compatible residential and commercial uses. Noxious, injurious, or hazardous uses shall not be permitted in the GU district. [Ord. 01-05 § 8.]

Principle Uses

- A. Trails and boardwalks.
- B. Non-motorized public access areas to the Kuskokwim River or other areas that require public access.
- C. Single-family dwelling units.
- D. Duplex uses.
- E. Greenbelts and land reserves.
- F. Subsistence activities.
- G. Any accessory use or structure associated with the principal use or structure on the lot. The use of a freezer van as a residential unit is specifically prohibited, but its use as an accessory structure for storage is not prohibited.
- H. The facilities of sewer, water and other utilities.
- I. All uses listed as conditional uses in the PLI district.
- J. Triplexes and apartment buildings.
- K. Commercial uses and structures, including:**
 - 1. Delicatessens, meat, seafood, and other food specialty shops.
 - 2. Art and picture framing shops.
 - 3. Shoe repair shops.
 - 4. Bookstores, stationery, gift, novelty, souvenir, and card shops.
 - 5. Drug stores.
 - 6. Laundry and dry cleaning shops.

7. Beauty and barber shops.
8. Cafes, restaurants, drive-in and fast-food restaurants, and other places serving food and beverages.
9. Knit shops, yarn shops, dry goods, dressmaking and notions stores.
10. Small appliance repair shops.
11. Photography studios, art studios.
12. Sporting goods stores, bicycle sale shops.
13. Business, professional, and administrative offices.
14. Day care facilities.
15. Video stores.
16. Clothing, apparel, and shoe stores.
17. Hobby store.
18. Florist.
19. Tobacco store.
20. Wholesaling and distribution operations, including incidental assembly or processing of goods for sale at retail or wholesale on the premises, but not to include yards for storage or display of any scrap, junk, or salvaged materials or for any scrap or salvage operations.
21. Jewelry stores.
22. General merchandising store.
23. Wholesale and retail camera and photographic supply stores.
24. Funeral services, including crematoriums.
25. Motion picture theaters and live theaters.
26. Banking and financial institutions.
27. Medical and health services.
28. Business service establishments, including office supply and printing and publishing establishments.
29. Parking lots.
30. Taxicab and dispatching offices.
31. Hotels, motels, hostels, bed and breakfasts, bunk houses and boarding houses.
32. Radio and television studios.
33. Plumbing and heating service and equipment dealers.
34. Paint, glass and wallpaper stores.
35. Electrical or electronic appliances, parts and equipment.
36. Gasoline service stations.
37. Aircraft and marine parts and equipment stores, and outboard motor repair.
38. Antiques and secondhand stores, including auctions, pawnshops.
39. Automotive accessories, parts and equipment stores.
40. Automotive repair, services and garages.
41. Motor vehicle dealers, new and used.
42. Wholesale and retail fur repair, storage, and sales.
43. Automobile display lots, new and used.
44. Lumber yards and builders supply stores.
45. Nurseries and garden supply stores.
46. Automobile car washes.
47. Air passenger terminals.
48. Amusement arcades, billiard parlors, bowling alleys, roller and ice skating rinks.
49. Veterinary clinics and boarding kennels, with activities conducted in a completely enclosed building.
50. Vocational or trade schools.
51. Wholesale and retail furniture and home finishing stores.
52. Wholesale and retail radio and television stores.
53. Wholesale and retail household appliance stores.
54. Wholesale, industrial, and retail hardware stores.

- 55. Merchandise vending machines sales and service.
- 56. Frozen food lockers.
- 57. All-terrain vehicles remodeling or repair.
- 58. Boat building.
- 59. Sign shops.
- 60. Cabinet shops.
- 61. Cleaning, laundry or dyeing plants.
- 62. Other commercial uses of a character similar to those uses listed in this section. [Ord. 01-05 § 8.]

Conditional Uses.

- A. Industrial uses permitted in the I district.
- B. Radio and television towers and antennas, but not including amateur radio and citizen band radio antennas that are accessory to the principal use of the lot.
- C. Landing strips and air taxi services.
- D. Planned unit developments. [Ord. 01-05 § 8.]

8. 18.40 INDUSTRIAL DISTRICT

The industrial district is intended to apply to areas where industrial development is the predominant, or is expected to be the predominant use. [Ord. 01-05 § 8.]

Principle Uses

- A. Commercial uses permitted as principal uses in the GU district, except that all residential uses and structures are prohibited unless specifically authorized in this section.
- B. One dwelling unit occupied by the owner, the manager or a watchman of a principal use on the lot.
- C. Any accessory use or structure associated with the principal use or structure on the lot.

D. Industrial uses, including:

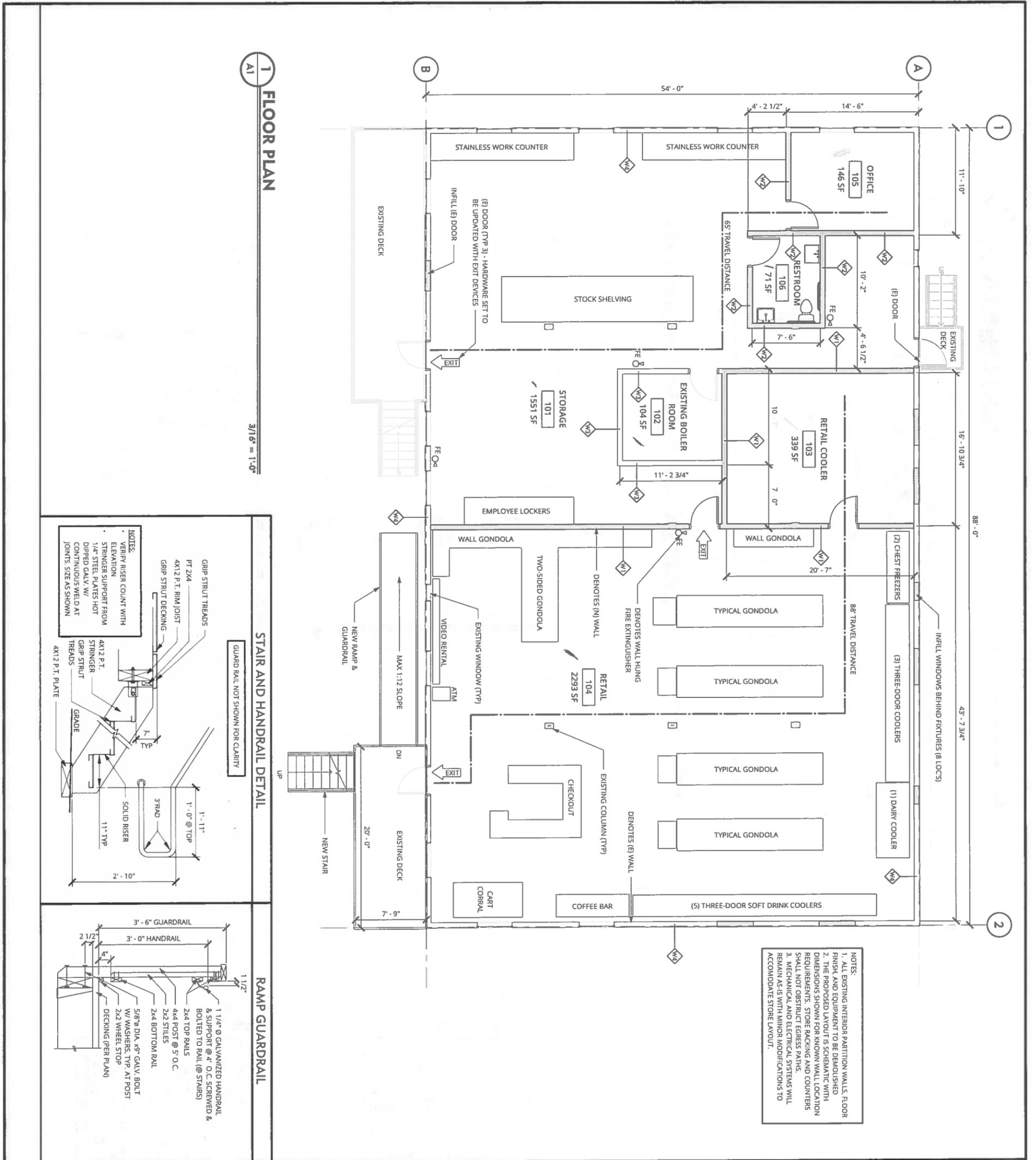
- 1. Airplane assembly, remodeling or repair.
- 2. Airports.
- 3. Machine shops.
- 4. Metal working or welding shops.
- 5. Sawmills.
- 6. Steel fabrication shops or yards.
- 7. Irethane foaming yards or plants.
- 8. Warehouses.
- 9. Shipping or receiving terminals.
- 10. Bulk fuel distribution and storage.
- 11. Cement manufacturing.
- 12. Distillation of wood, coal or bones.
- 13. Tannery.
- 14. Paper manufacturing.
- 15. Poison manufacturing.
- 16. Printing ink manufacturing.
- 17. Rock and stone crushing mill.
- 18. Natural resource extraction, such as a sandpit.
- 19. Cargo dock facility or freight transfer area.
- 20. Fish processing plants.
- 21. Fiberglass fabrication shops or yards.
- 22. Junk yards and salvage yards.
- 23. Land fills, solid waste processing facilities.
- 24. Sewage treatment facilities.
- 25. Other industrial uses of a character similar to those uses listed in this section.

26. Recreational uses, to include the Bethel shooting range. [Ord. 11-22 § 2; Ord. 01-05 § 8.]

Conditional Uses.

A. Planned unit developments. [Ord. 01-05 § 8.]

(shown on zoning map, but not stated in the Code)



CODE SUMMARY

PROJECT LOCATION: 1110 BRIDGE AVE, BETHEL, AK 99559

APPLICABLE CODES:
 2012 INTERNATIONAL BUILDING CODE (IBC)
 2012 INTERNATIONAL FIRE CODE (IFC)
 2012 INTERNATIONAL MECHANICAL CODE (IMC)
 2012 UNIFORM PLUMBING CODE (UPC)
 2014 NFPA 70 NATIONAL ELECTRICAL CODE (NEC)
 ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAAG)

PREVIOUS OCCUPANCY: R-2, APARTMENTS
 NEW OCCUPANCY: M, MERCANTILE & S-1 STORAGE

CONSTRUCTION TYPE: V-8 (NON-RATED)

SPRINKLER SYSTEM: NOT REQUIRED. MERCANTILE AREA, LESS THAN 12,000 SF.

FIRE ALARM SYSTEM: NOT REQUIRED. OCCUPANT LOAD LESS THAN 500.

FIRE EXTINGUISHERS: PROVIDE 3-A, 40-B/C PORTABLE FIRE EXTINGUISHERS

ALLOWABLE AREA CALCULATION:
 MERCANTILE AREA: 9,000 SF
 BASE AREA: 6,750 SF
 FRONTAGE INCREASE: N/A
 SPRINKLER INCREASE: N/A
 TOTAL ALLOWABLE AREA: 15,750 SF

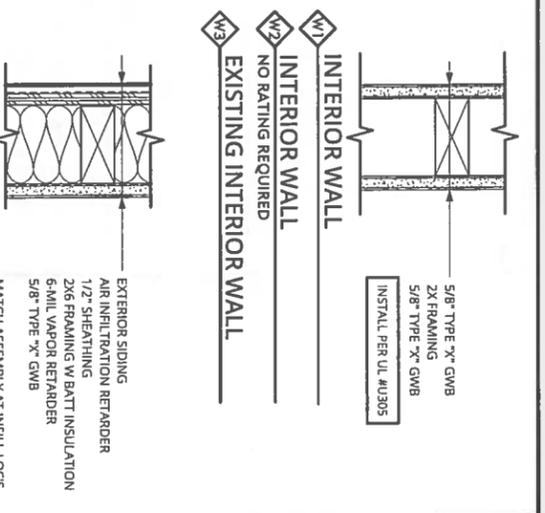
ACTUAL AREA: 4,538 SF OK
 ALLOWABLE HEIGHT: 1 STORY OK

FIRE RATED CONSTRUCTION:
 RATING OF EXTERIOR WALL: NON-RATED. MAINTAIN MINIMUM 10 FEET TO PROPERTY.
 1-HOUR RATING FOR STORAGE ROOMS OVER 100 SF.

OCCUPANT LOAD: RETAIL FLOOR = 1829 / 50 = 30 (30/49)
 STORAGE/STOCK = 2709 / 300 = 9 (9/03)
 TOTAL OCCUPANT LOAD: 39

EXITS REQUIRED:
 • 1 EXIT FROM MERCANTILE AREA UNDER 49 OCC WITH 75 FOOT TRAVEL DISTANCE
 • 1 EXIT FROM STORAGE AREA UNDER 29 OCC WITH 75 FOOT TRAVEL DISTANCE
 • 2 EXITS WITH 200 FOOT TRAVEL DISTANCE

WALL ASSEMBLIES



EXISTING EXTERIOR WALL

EXTERIOR SIDING
 AIR INFILTRATION RETARDER
 1/2" SHEATHING
 2X6 FRAMING W BATT INSULATION
 6-MIL VAPOR RETARDER
 5/8" TYPE "X" GWB
 MATCH ASSEMBLY AT INFILL LOCS

ONE INCH PERMIT SET

ONE INCH

8/8/2017 8:41:55 PM

250 H Street
 Anchorage, AK 99501
 P: (907) 243-8985
 F: (907) 243-5629
 W: LCGAK.com

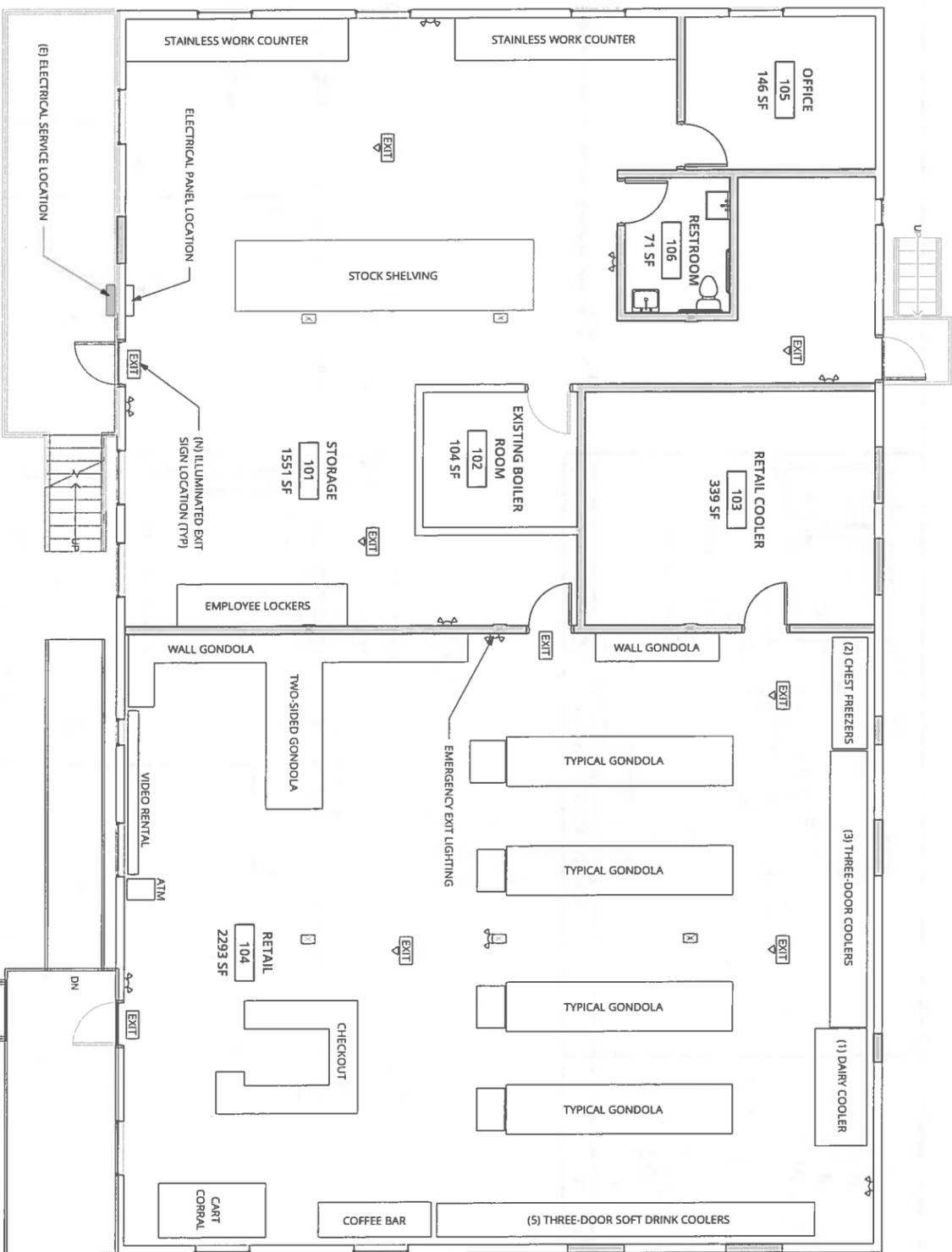
ICG Lantech Inc
 architecture • engineering • surveying

THE NORTH WEST COMPANY

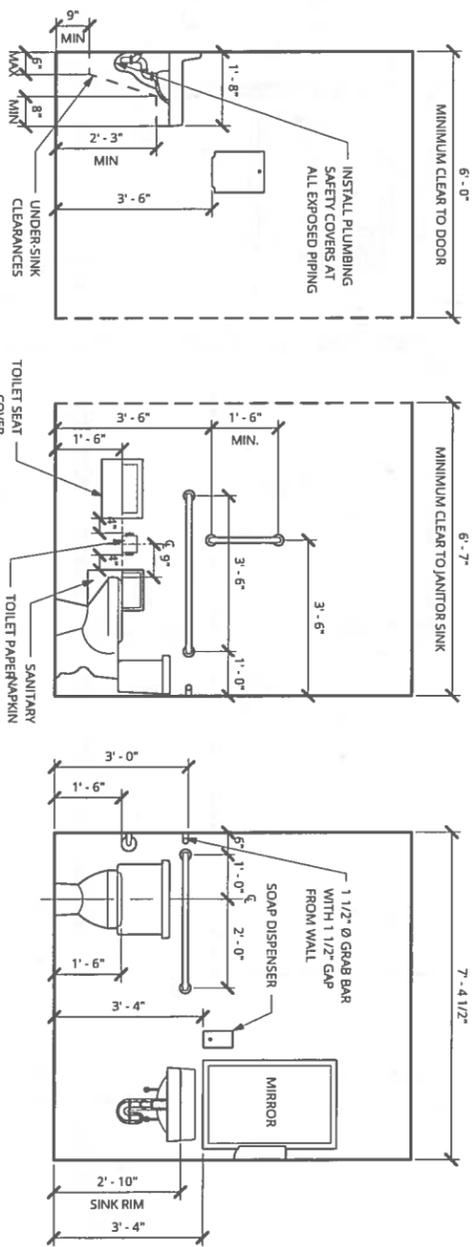
BETHEL BRIDGE AVE LIQUOR STORE
 ARCHITECTURAL FLOOR PLAN AND CODE STUDY

SHEET SIZE: 34x22
 DESIGNED BY: RWV
 DRAWN BY: RWV
 CHECKED BY: RWV
 DATE: 08/01/17
 FILE NO: 1113.08
 SHEET NUMBER: 2 OF 2

NO	DATE	BY	REVISION



1 MECHANICAL & ELECTRICAL SCHEMATIC PLAN



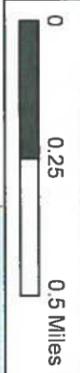
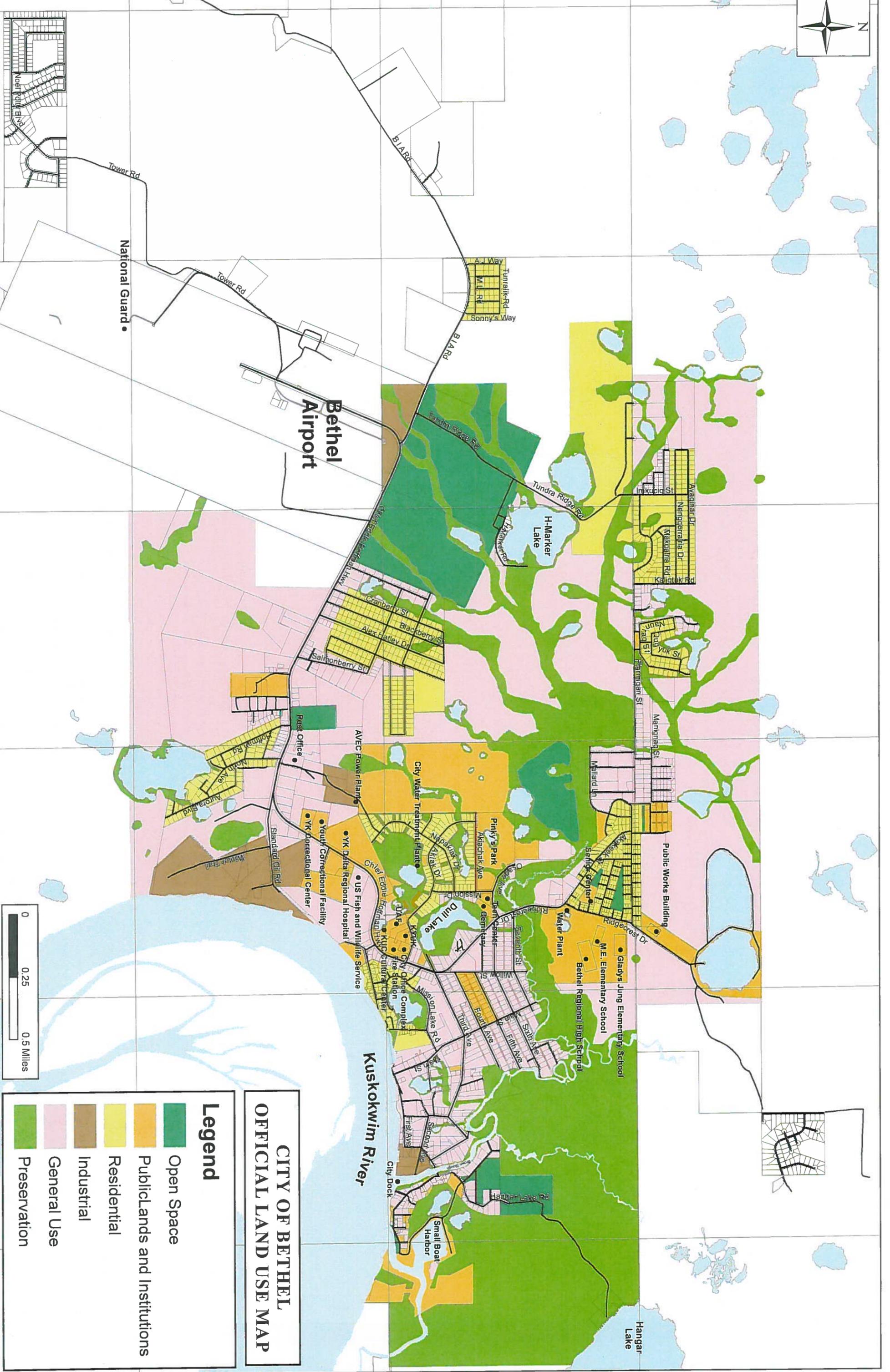
2 RESTROOM ELEVATIONS

- MECHANICAL SCOPE ITEMS**
1. CONTRACTOR TO USE SCHEMATIC LAYOUT AND PROVIDE COMPLETE DESIGN DRAWINGS. SHOP DRAWINGS AND CUTSHEETS FOR HEATING, VENTILATION & PLUMBING DESIGN TO BE SUBMITTED FOR REVIEW.
 2. REMOVE ALL PIPING AND DUCTING TO DEMOLISHED FIXTURES. NO ITEMS TO BE ABANDONED IN PLACE.
 3. EXTERIOR WALL HYDRONIC LOOP TO REMAIN AND BE MODIFIED FOR EQUIPMENT LAYOUT.
 4. MECHANICAL EQUIPMENT FOR RETAIL COOLER TO BE DESIGNED OUTSIDE OF THIS CONTRACT AND WILL BE PROVIDED BY OWNER.
 5. MECHANICAL PIPING TO BE CONCEALED AND UTILIZE EXISTING UTILIDOR LOCATIONS.
 6. MECHANICAL DUCTING AT CEILING TO BE EXPOSED. PROVIDE CODE COMPLIANT VENTILATION SYSTEM. IF SUITABLE, NATURAL VENTILATION CAN BE EMPLOYED. RE-USE EXISTING RESTROOM FANS AS APPROPRIATE.
 7. NEW RESTROOM TO RE-USE EXISTING VENTILATION FAN IN SAME LOCATION.
 8. EXISTING BOILER AND WATER HEATER TO REMAIN.

- ELECTRICAL SCOPE ITEMS**
1. CONTRACTOR TO USE SCHEMATIC LAYOUT AND PROVIDE COMPLETE DESIGN DRAWINGS. SHOP DRAWINGS AND CUTSHEETS FOR POWER, LIGHTING & SIGNAL DESIGN TO BE SUBMITTED FOR REVIEW.
 2. EXTERIOR WALL OUTLETS TO REMAIN. NEW OUTLETS REQUIRED AT OFFICE (105) & RESTROOM (106).
 3. POWER UPGRADE REQUIRED FOR WALK-IN COOLER. COOLER DESIGN TO BE CONSTRUCTED OUTSIDE OF THIS CONTRACT AND WILL BE PROVIDED BY OWNER.
 4. ALL CEILING-MOUNTED RESIDENTIAL LIGHT FIXTURES TO BE REMOVED AND REPLACED WITH LED TROFFER FIXTURES.
 5. SURFACE-MOUNTED CONDUIT AND RACEWAY TO BE USED FOR RETROFIT LOCATIONS.
 6. MINIMUM ILLUMINATION REQUIREMENTS:
 - A. RETAIL: 30 fc
 - B. STORAGE AND MECHANICAL SPACES: 10 fc
 - C. OFFICE AND RESTROOM: 30 fc
 7. PROVIDE CODE COMPLIANT COVERAGE FOR EMERGENCY EXIT LIGHTING. LOCATION SHOWN ARE SCHEMATIC ONLY.

PERMIT SET

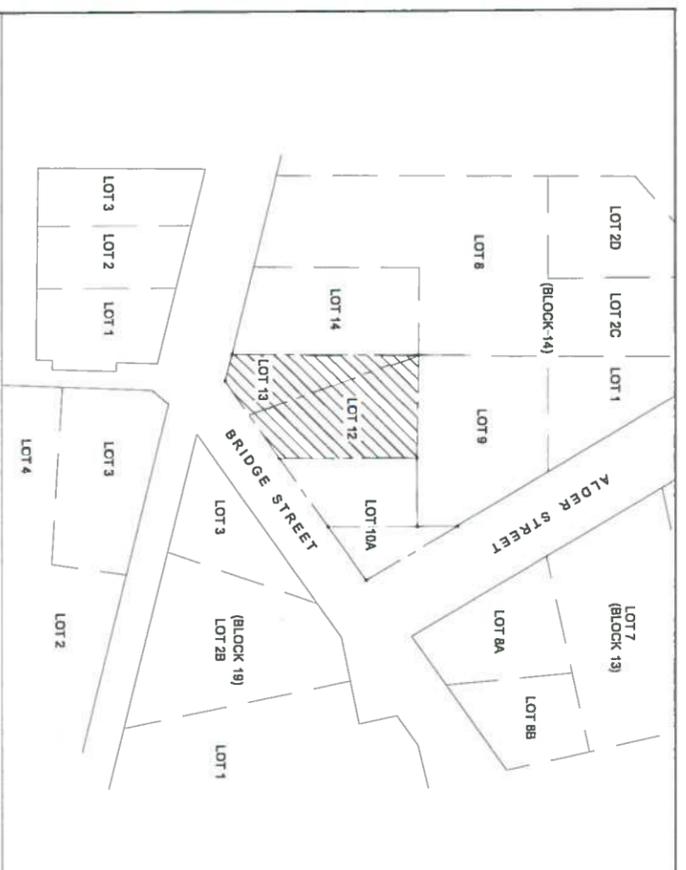
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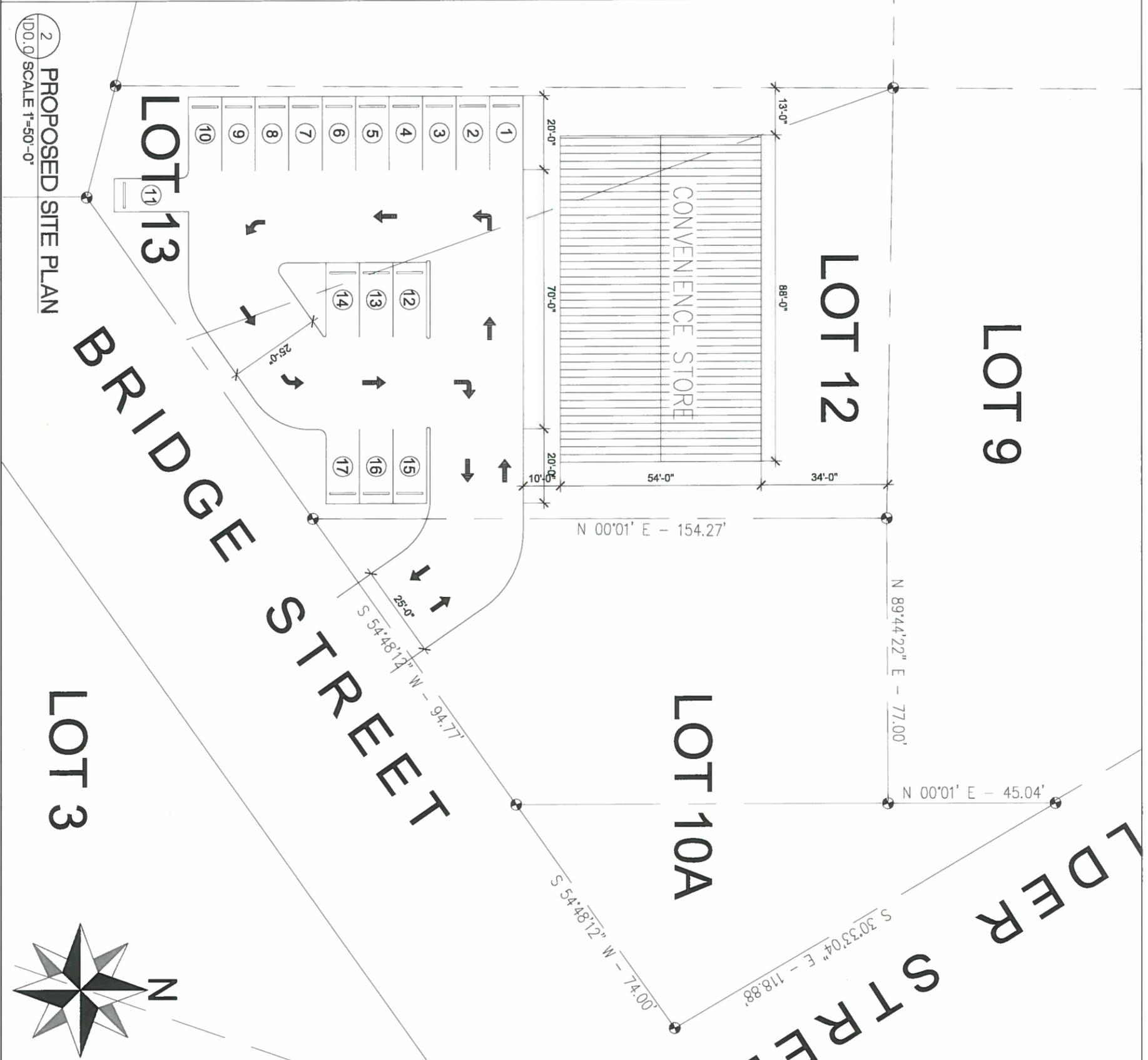
CITY OF BETHEL OFFICIAL LAND USE MAP

Legend

- Open Space
- Publiclands and Institutions
- Residential
- Industrial
- General Use
- Preservation



1 VICINITY MAP
 1/8" = 1' SCALE 1" = 200'-0"



2 PROPOSED SITE PLAN
 1/8" = 1' SCALE 1" = 50'-0"

GENERAL NOTES
 1. ELECTRICAL SERVICE SIZE
 Varies
 Press

Revision	Revised by	Checked by	Date

Issue	Issue Description	Resolved

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77 Main Street
 Anchorage, Alaska 99501
 Project Title: ACC CONVENIENCE STORE
 Project No.: ID-0.0



600' Radius of ACC-CUP

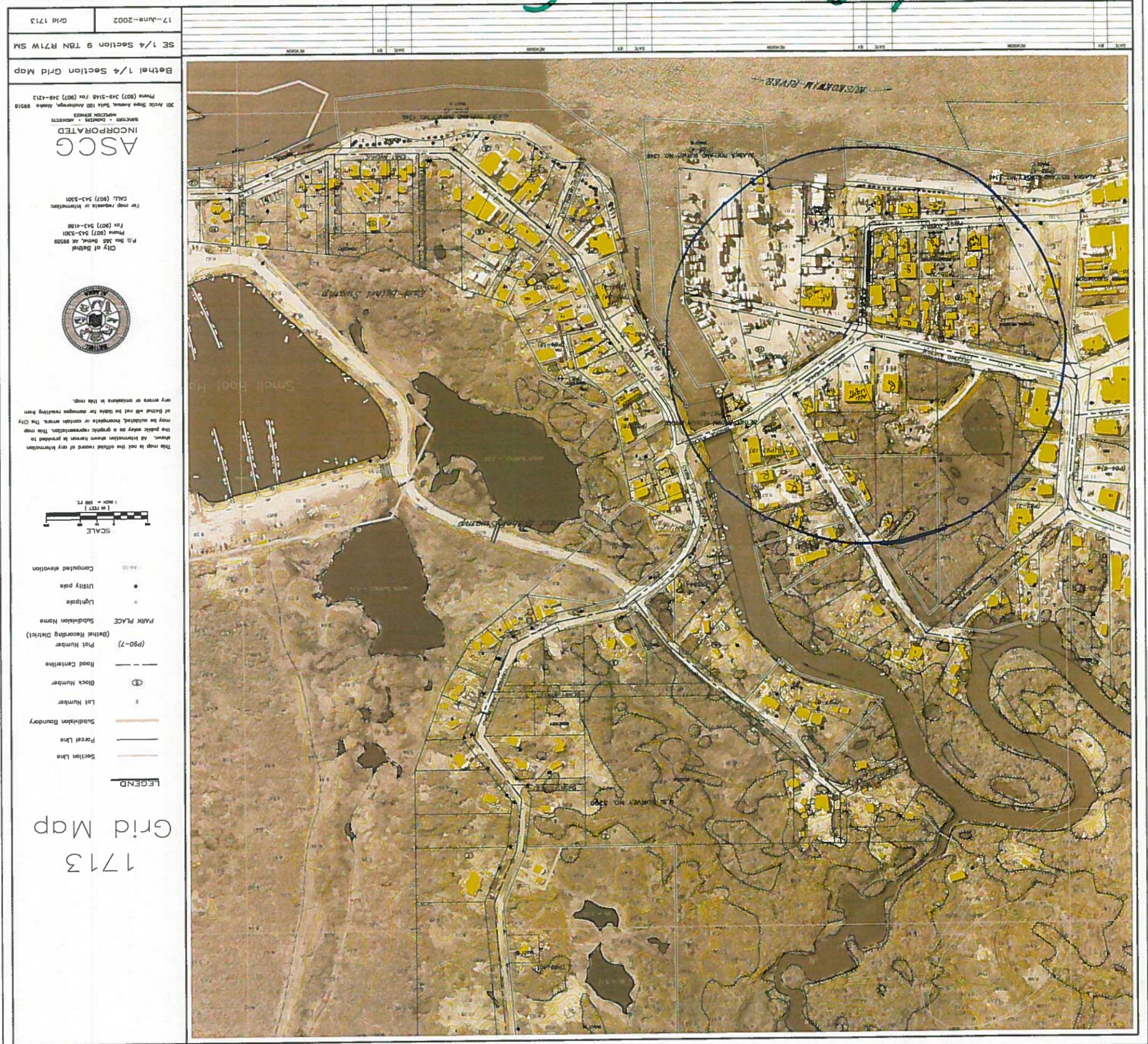


Photo #1



AC
PROPOSED
LIQUOR STORE
↙

BRIDGE
↙

PHOTO #2

AC LIABOR (PROPOSED)
↓

OSCAR WAY

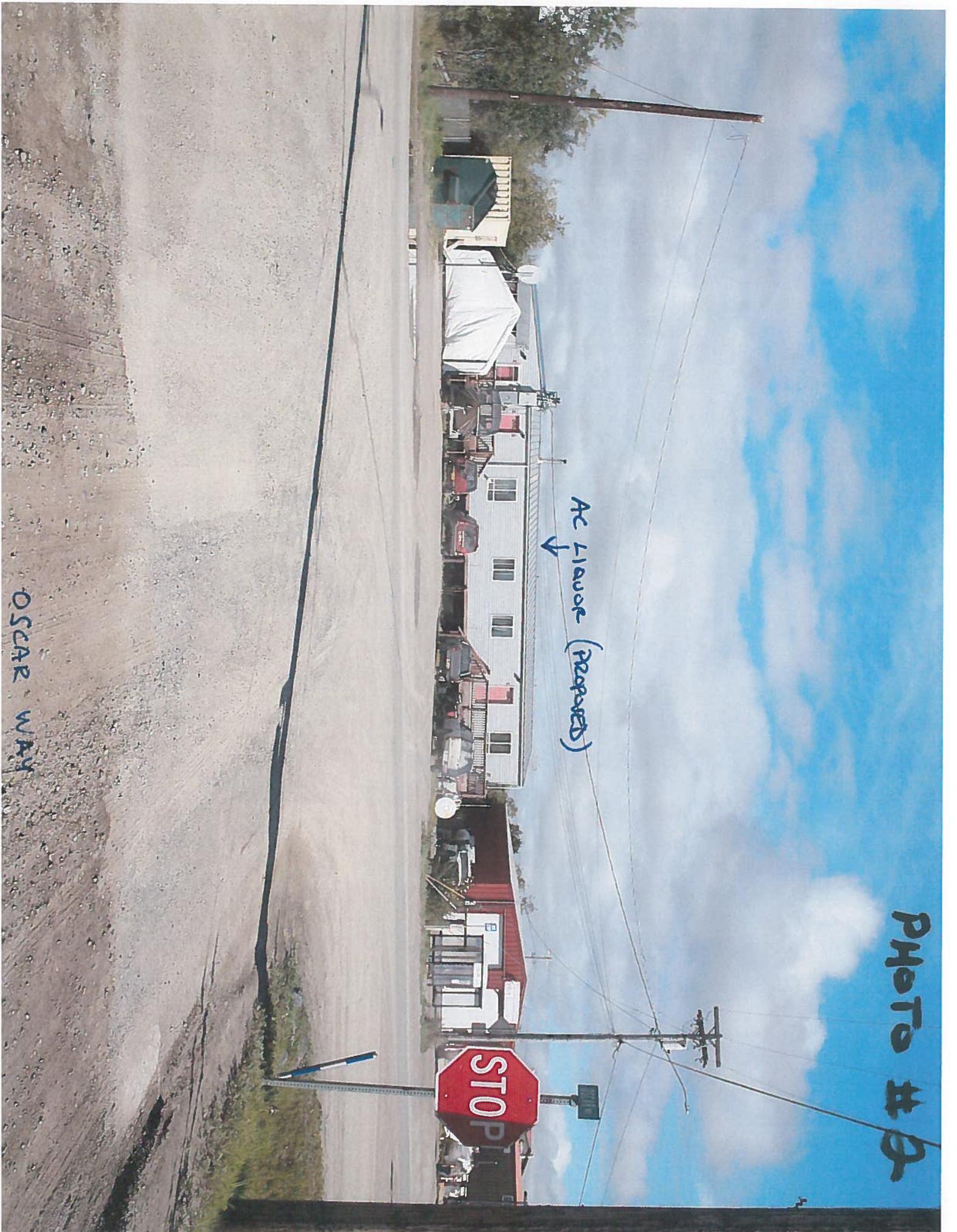
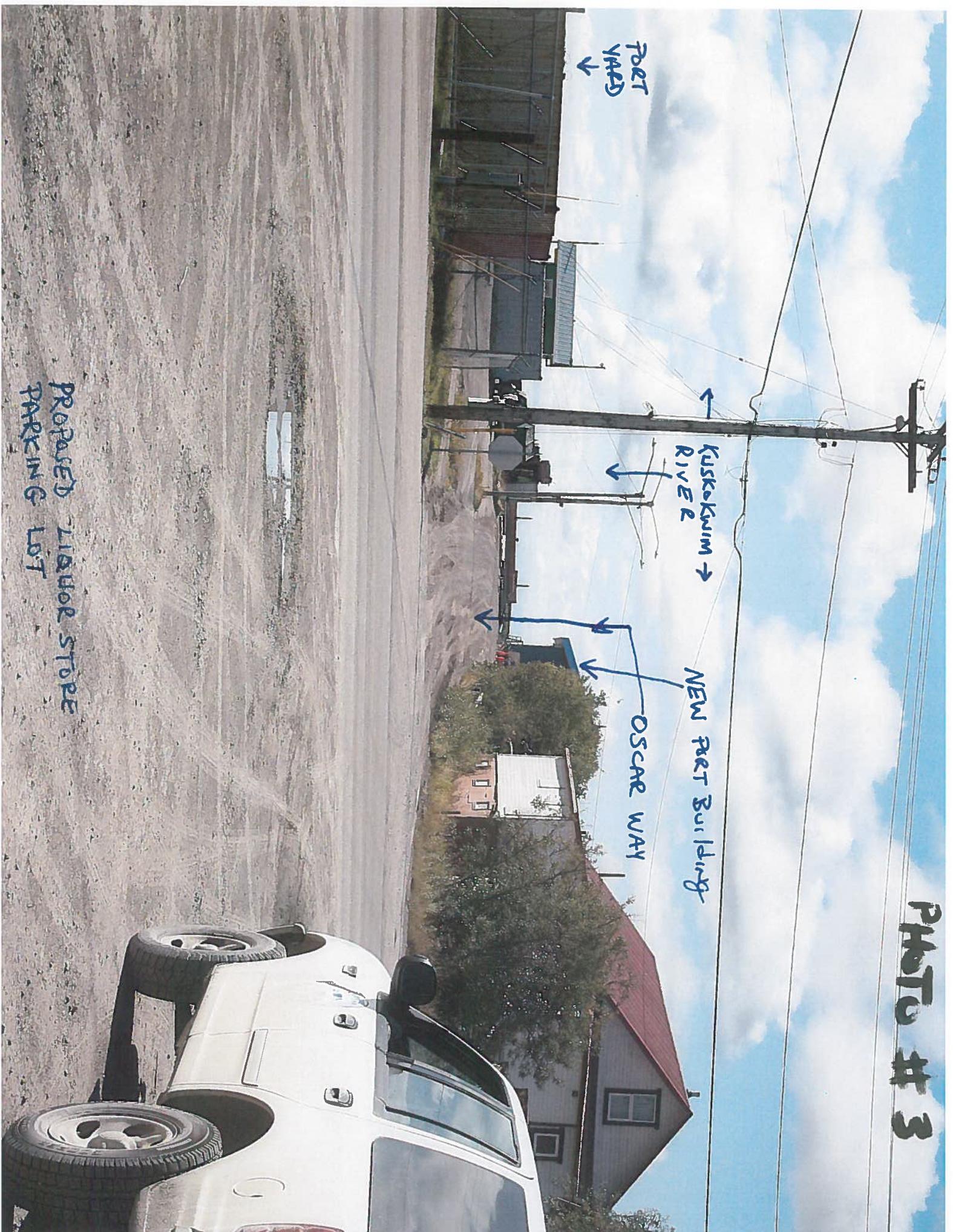


PHOTO # 3



FOOT
YARD
←

← KUSKOKWIM
RIVER →

← NEW FRET BUILDING
OSCAR WAY →

PROPOSED LIQUOR STORE
PARKING LOT

PHOTO # 4

OSCAR
WMH

LIQUOR STORE
PARKING LOT

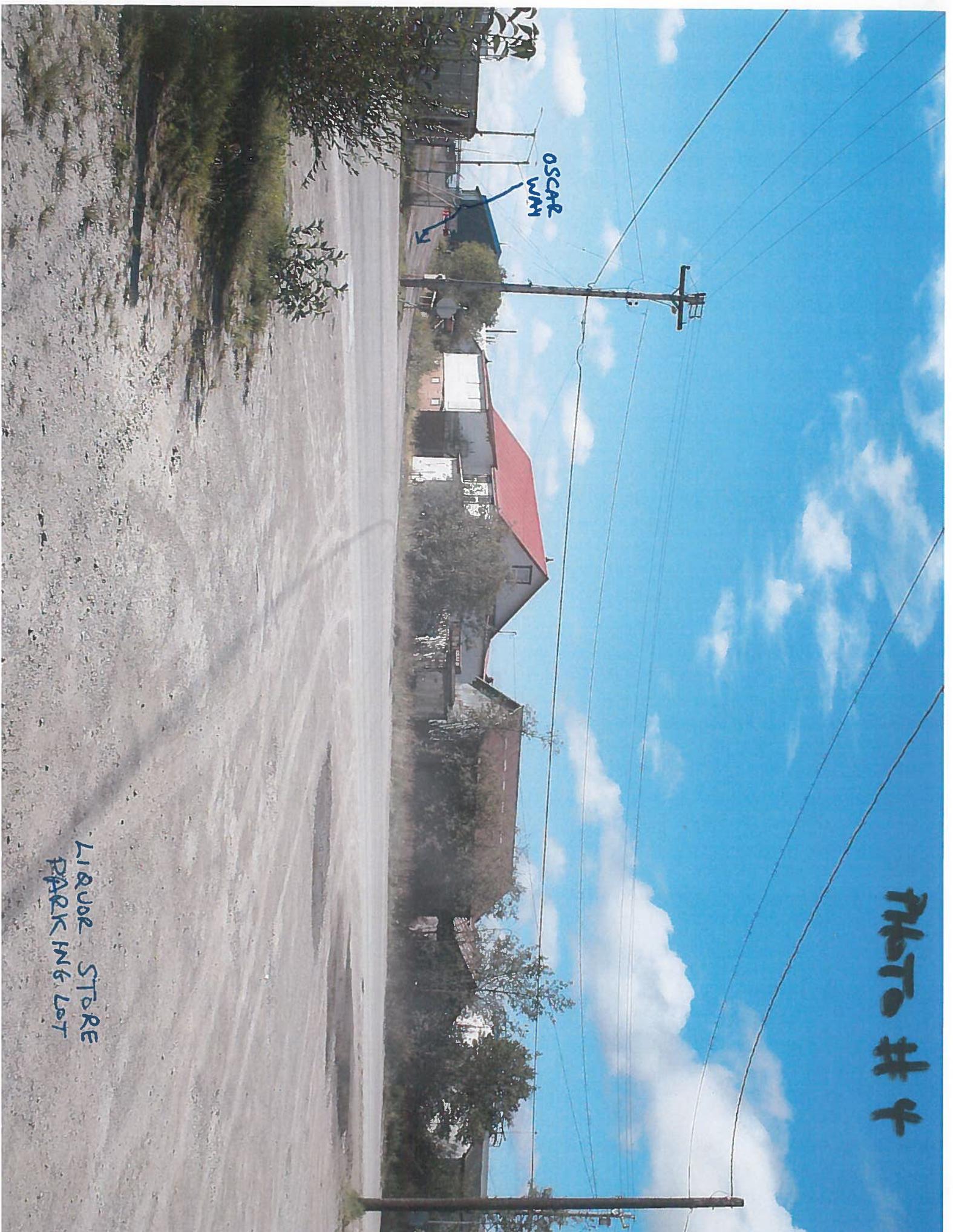


PHOTO #5

PROMISED AC
LINE OR STORE



AC PROPERTY
LINE
(APPROXIMATE)



PARKING LOT

GUY WIRES



BUS STOP



PHOTO # 6

OSCAR WAY

PROPOSED
AC LIQUOR
STORE

VITUS
MARINE →



ALL NOTICES WERE DONE IN ACCORDANCE OF BMC 18.04.070



CITY OF BETHEL

PLANNING OFFICE

P.O. Box 1388 • Bethel, Alaska 99559

907-543-5301

Fax # 907-543-4186

Oct. 2, 2017

To Whom this May Concern:

You are receiving this notice of a Public Hearing pursuant to Bethel Municipal Code 18.04.070 "Notice shall be mailed to the owners of each parcel of property part of which is within six (600) feet of the exterior boundary that is the subject of the application". If you are not the owner, please pass this notice on.

PUBLIC HEARING NOTICE CONDITIONAL USE PERMIT

Notice is hereby given that on Sept. 22, 2017, the City of Bethel Planning Office received an application for a Conditional Use Permit for a liquor license. The legal description is lots 12 and 13, of United States Survey 3230 A & B in the Bethel Recording District. The physical address is 1110 Bridge Street Unit No. 1.

Land Owner: The Northwest Company, dba ACC Liquor, 77 Main Street, Winnipeg, Manitoba R3C 1A3 Canada. Local phone number and contact is Seth Madole, phone 543-2661 at AC Store.

Applicant: same as above

Purpose: A public hearing to obtain a package liquor store license in order to sell alcohol.

City of Bethel Contact: Betsy Jumper, Planner, City of Bethel Planning Dept., phone 907-543-5603.

Time and Place: The regular scheduled meeting of the City of Bethel Planning Commission, 6:30 PM, October 12, 2017 at City Hall, located at 300 Chief Eddie Hoffman Highway in Council Chambers.



CITY OF BETHEL
Planning Office

PUBLIC HEARING NOTICE
CONDITIONAL USE PERMIT

Notice is hereby given that on Sept. 22, 2017 the City of Bethel Planning Office received an application for a Conditional Use Permit for a liquor license. The legal description is lots 12 and 13, Block 14, of United States Survey A and B. The physical address is 1110 Bridge Street Unit No. 1.

Land Owner: The Northwest Company, dba ACC Liquor, 77 Main St., Winnipeg, Manitoba R3C 1A3 Canada. Local contact person is Seth Madole, 543-2661.

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Purpose: A hearing to obtain a package liquor store license in order to sell alcohol.

City of Bethel Contact: Betsy Jumper, City of Bethel Planning Dept., phone 907-543-5603.

Time and Place: The regular scheduled meeting of the City of Bethel Planning Commission, 6:30 PM Oct. 12, 2017 at City Hall, located at 300 Chief Eddie Hoffman Highway in Council Chambers.


Betsy Jumper, Planner

I hereby certify that this Notice of Hearing - Conditional Use Permit for Alcohol - has been posted at City Hall, the Post Office, Bethel Native Corp. and Swanson's Bulletin Boards on or before Oct. 6, 2017. It is further certified that this Notice will be published in the Delta Discovery weekly newspaper beginning the week of Oct. 4, 2017, for one week publication.

BETHEL NEWS

YK Fitness Center Memberships available



Photo courtesy of the YK Fitness Center

Judo class is one of the offerings at the YK Fitness Center.

by Stacey Reardon

The YK Fitness Center encourages you to invest in your health and the health of your family with a fitness center membership.

Memberships are available for just the fitness areas of the Center, which include cardio, weight room, cardio machines and pool, or just the pool, which includes our lane lap pool, 14ft. water slide, shallow play area and our hot tub. Memberships are also available for the entire facility giving you the best of both worlds.

In addition to facility usage, membership also gets you a 35% discount on all of our great programs. We currently offer more than 25 classes a week, ranging from Judo, Boxing, and Judo Camp to Yoga, AquaZumba and Swim Lessons.

This Month, take advantage of our PFD special and get 20% off an Annual Membership or 10% off a monthly membership. Our PFD special starts October 5th and runs through October 31st. Take advantage this October and find the healthy in you!

For more information visit yfitness.org or call 545-0359.



Orutsarmiut Traditional Native Council (ONC)

The Delta Discovery

For Sale

For Sale: Hitzer Armish built woodstoves, UHMW Plastic sled runners. 543-2379 (11)(31)-543-3156 or 545-3157 (19)(9/18-cnx)

FOR SALE

300 Gallon Plastic Water Tanks in stock. Call Shorty at Shorty's Shop for pricing. 543-3156 or 545-3157 (19)(9/18-cnx)

18" SSV Lund with 60 hp high thrust Yamaha 20 inch shaft. About 150 hours on motor, maintained well with no problems. In excellent condition. Lund boat reinforced side and motor mount, no leaks. Minor dents. Asking \$11,000. Email me at boy4ever79@yahoo.com, (42)(12/23-cnx)

For Sale:

10' x 20' Walk In cooler/freezer, un-assembled. Complete with 6" floor, ceiling, wall panels & foundation beams. 4' door. 240V compressor. evaporators. Make an offer. Ron Kaiser 545-4936. (30)(98-cnx)

House for Sale

2x12x4, freshly remodeled, 1 bedroom Must be moved. 545-1890. (12)(9/21-cnx)



Steambath for Sale at a reduced price! \$10,000 \$8,500. Contact Shorty 545-3157. (12)(6/21-cnx)

For Sale: Plastic Water Tanks Only 31" wide, 70" high, 74" long, 500 Gallons, easily connect two for 1000 gallons! Fits through most doors for easy installation. Contact Shorty for pricing and information (907) 545-3157 (35)(6/21-cnx)

Equipment for Sale 1984 KALMAR LMV28-1200 HD Mast Forklift

CLASSIFIEDS

October: \$3,750/mo for building, \$4,000/mo for building and garage. Call Chns 543-7600. (43)(9/30-cnx)

Employment

KYUK is seeking an On-Air Host to keep the YK Delta informed and entertained. No radio experience required. Duties include hosting the NPR Morning programs from 6:30 am to 9am, hosting a short music/talk show on events of the day. Other hours are negotiable. Yupik and English preferred. To apply submit a resume with references, and a letter of interest to julia@kyuk.org or mail to KYUK, PO Box 466, Bethel, AK, 99559. Deadline to apply October 18th, 2017. For any questions call Julia at 545-1794 (85)(10/4-18)

Maintenance Laborer - Bethel Alaska Housing Finance Corporation (AHFC) \$25.96 hr. Union Position Excellent benefit package. Obtain a job description and online application at www.ahfc.us or a paper application may be picked up and submitted at the AHFC office located at 1029 Ridgcrest Dr. Bethel, AK. An AHFC application must be submitted for each position (a resume may be attached). APPLICATION MUST BE RECEIVED BY 5 p.m. October 13, 2017. Public Housing Residents are encouraged to apply (recruitment@ahfcbethel.net), or by faxing 907-543-5294. Proposals are due October 30, 2017 at 4:00 pm. (62)(10/4)

Real Estate

For Sale 23,500 square foot lot/downtown location on Chief Eddie Hoffman Highway (or State Highway) across from Fire Station. Serious offers only. 907-543-3552 (23)(7/28-cnx)

235 Mission Lake RD 12820 FT all filled and leveled with 2 buildings. One 22 by 34, 1496 sq ft. One 30 by 56, 1680 sq ft. 3 plex. 545-0929 (29)(9/21-cnx)

For Sale 630 PTARMIGAN STREET Commercial Lot \$165,000 630 PTARMIGAN STREET Commercial Lot 1.5000 SF completely filled. Also a 24 x 56 4plex can be moved to it. 1900 SF

1st floor Council Chambers, Bethel City Hall. Betsy Jumper, City of Bethel Planner, 543-5603 (17)(3)(9/27-10/4)

PUBLIC HEARING NOTICE

CONDITIONAL USE PERMIT Notice is hereby given that on September 22, 2017, the City of Bethel Planning Office received an application for a Conditional Use Permit for a liquor license. The legal description is lots 12 and 13, Block 14, of United States Survey 3230 A and B in the Bethel Recording District. The physical address is 1110 Bridge Street Unit No. 1 Land Owner: The Northwest Company, 77 Main St., Winnipeg, Manitoba R3C 1A3 Canada. Applicant: The Northwest Company, dba ACC Liquor Store. Purpose: To obtain a package liquor store license in order to sell alcohol. City of Bethel Contact: Betsy Jumper, Planner, City of Bethel Planning Dept. phone 907-543-5603 Time and Place: The regular scheduled meeting of the City of Bethel Planning Commission, 6:30 PM Oct. 12, 2017 at City Hall, located at 300 Chief Eddie Hoffman Highway in Council Chambers, (148)(10/4)

NOTICE OF PUBLIC HEARING - ZONING APPLICATION

NOTICE IS HEREBY GIVEN that on September 22, 2017, the City of Bethel Planning Office received a Zoning Application to change the zoning from a Public Lands and Institution Use to a General Use area district. APPLICANT: City of Bethel, 350 Chief Eddie Hoffman Highway City Manager Pete Williams, phone 543-2047 ex. 223

Public Notice

FWW MEMBERSHIP Freedom Isn't free, and millions of Americans have paid the price for the freedom we enjoy today. Since 1899, the Veterans of Foreign Wars has served those who served America. From writing veterans legislation and then leading the fight to get it through Congress, to community projects that benefit all Americans, the VFW is an opportunity for veterans to continue to serve. Contact the VFW Robert V. Lindsey Post #10041 at 543-2241 and ask what you can do for your community. (83)(8/26-cnx)

NOTICE OF PUBLIC HEARING - ZONING APPLICATION NOTICE IS HEREBY GIVEN that on

CITY OF BETHEL
ZONING AMENDMENT

STAFF REPORT

October 12, 2017
TO: The Planning Commission
FROM: Betsy Jumper, Planner
SUBJECT: Amendment to the Official Land Use Map

The City of Bethel (the applicant) has requested a Zoning Amendment to the Official City of Bethel Land Use Map. (Attachment 1). They would like to change the Courthouse Subdivision, lot 1A (plat no. 2006-25-, Attachment 2) and lot 2, block 1, Plat Number 99-12, (Attachment 3), from a Public Lands and Institutions zone use, to a General Use zone. As stated in the Zoning Application form, the reason for wanting a zone change to the City of Bethel Official Land Use Map is per recommendation of the appraiser.

BACKGROUND INFORMATION/HISTORY: The City of Bethel owns this land. Currently, on lot 1A (68,429 square feet) sits the Nora Guinn Courthouse building. The Tom Dillon Park is located on a portion of lot 2 (120,672 square feet) as well as City Hall. The old police office building used to sit on the vacant lot area of lot 2. In the 1970's and early 80's the library was there, as well as the jail.

Other buildings surrounding the Courthouse area are one of the local radio stations, the Fire Station, the College, the Cultural Center, a church, the Lion's Club, as well as residential homes. (Attachment 4—1000' radius of Courthouse land uses).

This is currently designated a Public Lands and Institutions (PLI) District. The applicant wishes to redesignate the zone as a General Use Zone (GU). Research reveals that the subject parcels have operated under the current PLI zoning designation for 20+ years. A change to a GU zone would enable the City to expand the use of the area and allow for more users. (Attachment 5-City of Bethel Official Land Use Map and attachment 6 - Zoning Districts).

STAFF REVIEWS-- BETHEL MUNICIPAL CODE 18.76.040

A. The Planning Dept. shall evaluate the application for amendment to the text of this title and shall conduct such investigation as may be relevant. The Planning Dept. may only make a recommendation for approval with the following findings:

1. The proposed amendment will be consistent with the comprehensive plan and will further specific goals and objectives of the plan.

The proposal will be consistent with the 2011 Bethel Comprehensive Plan's Future Land Use Plan Map, and land use compatibility. The Courthouse Subdivision area is shown to be of "mixed" use. "Mixed Use; This use is intended to be the most common land use zone, made up of residential and residential-compatible uses. Examples of residential compatible uses include schools and other community serving, non-industrial facilities, and churches, office and professional services uses (e.g. health facilities), and neighborhood-serving industries." Page 4-11, Action 1b. (Attachments 7 & 8).

2. The proposed amendment will be fair and reasonable to implement and enforce.

The amendment would create a general use zone; some of the surrounding properties are zoned PLI, such as the College, Fire Station, KYUK. There is also the VFW and many homes, located in the General Use Zone.

3. The proposed amendment will enhance the stated purpose of this title of promoting the public health, safety, and welfare of the present and future inhabitants of the City.

The public's health, safety, and welfare are promoted by the proposed General Use of this land. The property is surrounded by areas supporting many different uses, thus not expanding or leap-frogging general next to lands that may support uses and activities incompatible with those proposed by the applicant. A General Use area could expand uses of the land, making its proximity to the downtown area supports the concepts of limiting multiple trip generation. Goods and services can be obtained in a concentrated location without the expense of traversing the community.

4. The proposed amendment will be consistent with the intent and wording of the other provisions of this title.

The amendment is consistent and has not been found to be in conflict with other provisions of Title 18 of the BMC.

B. The Planning Dept. shall make such investigations as are relevant and evaluate the proposed amendments to the official map. The department shall submit its analysis and recommendations to the planning commission along with findings consistent with its recommendations. The department may only recommend approval of the map amendment if it makes and supports the following findings:

1. The proposed redesignation will be consistence with and further the goals of the comprehensive plan: *Yes (see #1A above).*

2. If applicable, that the proposed redesignation is better suited to the area because either the conditions have changed in the area to be redesignated since

the present designation was assigned, or the area was previously assigned an inappropriate zoning district designation: *Since Bethel has grown since 1990, it would be better suited to be a General Use Zone, in order to allow more usage in a concentrated area.*

3. The principal and conditional uses permitted in the proposed redesignated area will be compatible with the principal and conditional uses permitted in the surrounding area for a one-thousand (1,000) foot radius considering factors such as distance, topography, materials, screening, actual and potential development, comprehensive plan designations, and other relevant factors:

The amendment will conform to all recognized principle and conditional uses in the surrounding area considering all the factors listed above.

4. The area proposed to be redesignated either constitutes an expansion of area for the same designation or is at least two acres in size.

The proposed designation constitutes an area of the same designation. General Use District and Public Lands and Institutions surround the property.

5. The existing or proposed water, sewage and transportation systems are adequate to serve the principal and conditional uses permitted in the proposed redesignation. [Ord.01-05 8]

The existing water and sewage systems are adequate (on piped utilities) as is the transportation system (City bus and taxi-cabs).

RECOMMENATION:

Approval of the zoning amendment application as presented and forward to the City Council in an ordinance form.

**CITY OF BETHEL
PLANNING DEPARTMENT**

1155 Ridgecrest Drive - P.O. Box 1388
Telephone: (907) 543-5306 * Fax: (907) 543-4186

ZONING MAP AMENDMENT APPLICATION FORM

Applicant: The City of Bethel

Legal Description of properties covered by this application (use additional sheets if necessary): Lot 1A and lot 2, block 1, Plats number 2006-25, and 99-12 of the Courthouse Subdivision.

Requested District Change: From: Public Lands and Institutions zone

To: General Use zone.

Reason for Request: Per recommendation of the appraiser.

Please provide written narrative explaining the following:

1. Is the proposed change in accordance with the City Comprehensive Plan? Yes, it enhances the value of the land for the City, as well as expands the use.
2. How is the proposed change compatible with surrounding zoning districts and the established land use pattern? It is near the downtown area and other commercial areas.
3. Are public facilities such as schools, utilities and streets adequate to support the proposed change? Yes
4. Do changed conditions effecting the subject parcel or the surrounding neighborhood support the proposed change? N/A
5. Is the proposed change consistent with public welfare and will it grant a special privilege to the owners? It will expand the use of one of the largest pieces of commercial real estate property in the City (will allow for more users.)

Date of application: 9-22-17

\$100.00 Filing fee: waived

Peter Williams

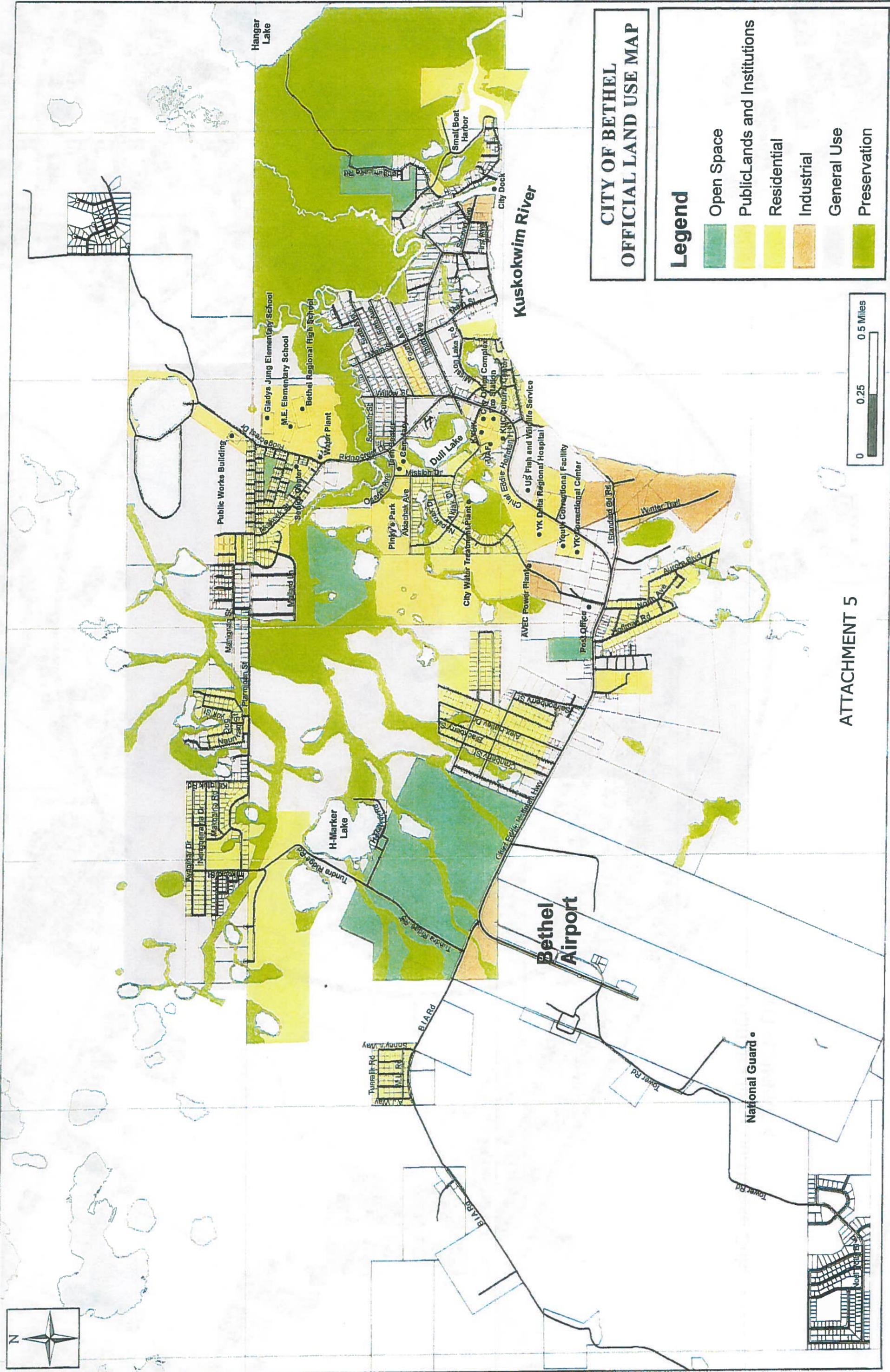
Signature of owner or owner's authorized representative

P.O. Box 1388 Bethel, AK 99559

Address

907-545-4150

Phone/contact number



**CITY OF BETHEL
OFFICIAL LAND USE MAP**

Legend

- Open Space
- Public Lands and Institutions
- Residential
- Industrial
- General Use
- Preservation



ATTACHMENT 5

ZONING DISTRICTS

Definitions, Principle Uses, and CUPs

1. 18.20 PRESERVATION DISTRICT

The preservation district is intended to apply to significant wetlands and drainage ways that should be preserved as open areas or to which careful attention must be given to development that would disturb the wetlands or affect the drainage ways.

Principle Uses

- A. Greenbelts.
- B. Trails and boardwalks that do not require the use of fill material.
- C. Subsistence and recreational uses that do not require the use of fill material.
- D. Any accessory use or structure that does not require the use of fill material. [Ord. 01-05 § 8.]

Conditional Uses

- 1. Subsistence, recreational, and accessory uses and structures that require fill;
- 2. Trail, walkways, boardwalks, and roads that require the use of fill;
- 3. Agricultural uses;
- 4. Single-family, duplex, triplex and apartment residential uses; provided, the use of freezer vans as residential units is prohibited;
- 5. Planned unit development;
- 6. Commercial uses permitted as a principal use in the GU district;
- 7. Public and institutional uses permitted as principal uses in the PLI district;
- 8. Landing strips and air taxi services.

2. 18.24 PUBLIC LANDS AND INSTITUTIONAL DISTRICT

The public lands and institutional district is intended to apply to undeveloped public lands not dedicated for open space, and public and quasi-public institutional uses, including government office buildings, facilities, and existing land reserves for public and institutional use. [Ord. 01-05 § 8.]

Principle Uses

- A. Greenbelts and land reserves.
- B. Trails and boardwalks.
- C. Sewer facilities and water supply facilities.
- D. Utility facilities.
- E. Any accessory use or structure associated with the principal use or structure on the lot. [Ord. 01-05 § 8.]

Conditional Uses

- A. Parks, playfields, and playgrounds.
- B. Museums, historic and cultural exhibits.
- C. Educational institutions, including public, private or parochial academic schools, colleges, and universities.
- D. Hospitals, sanitariums, children's homes, group homes, nursing homes, convalescent homes, homes for the aged, and similar homes.
- E. Cemeteries.
- F. Churches and synagogues, along with the customary accessory uses, including administrative offices, parsonages, day nurseries, kindergartens and meeting rooms.
- G. Headquarters or administrative offices for charitable organizations and similar quasi-public organizations of a noncommercial nature.

- H. Governmental office buildings.
- I. Radio and television transmission towers and antennas, not including amateur radio and citizen band radio antennas that are accessory to a residential use.
- J. Recreation uses.
- K. Governmental service shops, maintenance and repair centers, and equipment storage yards.
- L. Private roads and parking areas.
- M. Animal control facility.
- N. Other public buildings and uses.
- O. Landing strips and air taxi services.
- P. Other uses and structures that are compatible with existing development and support or supplement existing development. [Ord. 01-05 § 8.]

3. 18.28 OPEN SPACE DISTRICT

The open space district is intended to provide undeveloped open space, to protect trails, to provide open areas for recreation, and to provide buffers between incompatible districts. [Ord. 01-05 § 8.]

Principle Uses

- A. Trails and boardwalks.
- B. Nonmotorized public access areas to the Kuskokwim River or other areas that require public access.
- C. Public recreation areas.
- D. Greenbelts and buffers.
- E. Subsistence uses. [Ord. 01-05 § 8.]

Conditional Uses

- A. Parks, playgrounds and playfields.
- B. Parking area related to a permitted or conditional use.
- C. Moorage of skiffs in a designated area.
- D. Motorized vehicle (including snowmachine and four-wheeler) access areas to and from the Kuskokwim River.
- E. Landing strips and air taxi services. [Ord. 01-05 § 8.]

4. 18.32 RESIDENTIAL DISTRICT

The intent of the residential district is to provide protection to residential areas from encroachment from nonresidential activities.

Principle Uses

- A. Trails and boardwalks.
- B. Nonmotorized public access areas to the Kuskokwim River or other areas that require public access.
- C. Single-family dwelling units.
- D. Duplex uses.
- E. Greenbelts and land reserves.
- F. Subsistence activities.
- G. Any accessory use or structure associated with the principal use or structure on the lot. The use of a freezer van for any purpose is specifically prohibited: except, during the construction or substantial improvement of the primary structure on a lot, a freezer van used solely for storage of construction materials and equipment may be located on the lot for a period not to exceed twelve (12) months unless, for good cause shown, the time is extended in writing by the land use administrator.
- H. The facilities of sewer, water and other utilities required to serve the lots in the district.

I. Home occupations, but not more than two (2) per dwelling unit. [Ord. 01-05 § 8.]

Conditional Uses

The following uses and structures are permitted in the R district under the terms of a conditional use permit.

- A. Triplex and residential apartment buildings.
- B. Planned unit developments.
- C. Professional offices.
- D. Parks, playfields, and playgrounds.

5. 18.34 NEIGHBORHOOD COMMERCIAL (Not shown on Zoning Map)

The intent of the neighborhood commercial district is to establish and maintain places for limited retail sales and services that are accessible and convenient to nearby residents. The NC district is applied to areas serving only a limited, local market and is intended to permit only those uses which do not create adverse impacts that are incompatible with nearby residences. [Ord. 01-05 § 8.]

6. 18.35 DOWNTOWN COMMERCIAL (Not shown on Zoning Map)

The intent of the downtown commercial district is to create a concentrated area of retail, financial, and public institutional facilities in order to encourage the development of interrelated uses and functions, reduce pedestrian walking distance between activities, and ensure the development of compatible pedestrian-oriented uses in the downtown commercial district. [Ord. 01-05 § 8.]

7. 18.36 GENERAL USE DISTRICT

The general use district is intended to allow a mix of compatible residential and commercial uses. Noxious, injurious, or hazardous uses shall not be permitted in the GU district. [Ord. 01-05 § 8.]

Principle Uses

- A. Trails and boardwalks.
- B. Non-motorized public access areas to the Kuskokwim River or other areas that require public access.
- C. Single-family dwelling units.
- D. Duplex uses.
- E. Greenbelts and land reserves.
- F. Subsistence activities.
- G. Any accessory use or structure associated with the principal use or structure on the lot. The use of a freezer van as a residential unit is specifically prohibited, but its use as an accessory structure for storage is not prohibited.
- H. The facilities of sewer, water and other utilities.
- I. All uses listed as conditional uses in the PLI district.
- J. Triplexes and apartment buildings.

K. Commercial uses and structures, including:

- 1. Delicatessens, meat, seafood, and other food specialty shops.
- 2. Art and picture framing shops.
- 3. Shoe repair shops.
- 4. Bookstores, stationery, gift, novelty, souvenir, and card shops.
- 5. Drug stores.
- 6. Laundry and dry cleaning shops.

7. Beauty and barber shops.
8. Cafes, restaurants, drive-in and fast-food restaurants, and other places serving food and beverages.
9. Knit shops, yarn shops, dry goods, dressmaking and notions stores.
10. Small appliance repair shops.
11. Photography studios, art studios.
12. Sporting goods stores, bicycle sale shops.
13. Business, professional, and administrative offices.
14. Day care facilities.
15. Video stores.
16. Clothing, apparel, and shoe stores.
17. Hobby store.
18. Florist.
19. Tobacco store.
20. Wholesaling and distribution operations, including incidental assembly or processing of goods for sale at retail or wholesale on the premises, but not to include yards for storage or display of any scrap, junk, or salvaged materials or for any scrap or salvage operations.
21. Jewelry stores.
22. General merchandising store.
23. Wholesale and retail camera and photographic supply stores.
24. Funeral services, including crematoriums.
25. Motion picture theaters and live theaters.
26. Banking and financial institutions.
27. Medical and health services.
28. Business service establishments, including office supply and printing and publishing establishments.
29. Parking lots.
30. Taxicab and dispatching offices.
31. Hotels, motels, hostels, bed and breakfasts, bunk houses and boarding houses.
32. Radio and television studios.
33. Plumbing and heating service and equipment dealers.
34. Paint, glass and wallpaper stores.
35. Electrical or electronic appliances, parts and equipment.
36. Gasoline service stations.
37. Aircraft and marine parts and equipment stores, and outboard motor repair.
38. Antiques and secondhand stores, including auctions, pawnshops.
39. Automotive accessories, parts and equipment stores.
40. Automotive repair, services and garages.
41. Motor vehicle dealers, new and used.
42. Wholesale and retail fur repair, storage, and sales.
43. Automobile display lots, new and used.
44. Lumber yards and builders supply stores.
45. Nurseries and garden supply stores.
46. Automobile car washes.
47. Air passenger terminals.
48. Amusement arcades, billiard parlors, bowling alleys, roller and ice skating rinks.
49. Veterinary clinics and boarding kennels, with activities conducted in a completely enclosed building.
50. Vocational or trade schools.
51. Wholesale and retail furniture and home finishing stores.
52. Wholesale and retail radio and television stores.
53. Wholesale and retail household appliance stores.
54. Wholesale, industrial, and retail hardware stores.

- 55. Merchandise vending machines sales and service.
- 56. Frozen food lockers.
- 57. All-terrain vehicles remodeling or repair.
- 58. Boat building.
- 59. Sign shops.
- 60. Cabinet shops.
- 61. Cleaning, laundry or dyeing plants.
- 62. Other commercial uses of a character similar to those uses listed in this section. [Ord. 01-05 § 8.]

Conditional Uses.

- A. Industrial uses permitted in the I district.
- B. Radio and television towers and antennas, but not including amateur radio and citizen band radio antennas that are accessory to the principal use of the lot.
- C. Landing strips and air taxi services.
- D. Planned unit developments. [Ord. 01-05 § 8.]

8. 18.40 INDUSTRIAL DISTRICT

The industrial district is intended to apply to areas where industrial development is the predominant, or is expected to be the predominant use. [Ord. 01-05 § 8.]

Principle Uses

- A. Commercial uses permitted as principal uses in the GU district, except that all residential uses and structures are prohibited unless specifically authorized in this section.
- B. One dwelling unit occupied by the owner, the manager or a watchman of a principal use on the lot.
- C. Any accessory use or structure associated with the principal use or structure on the lot.

D. Industrial uses, including:

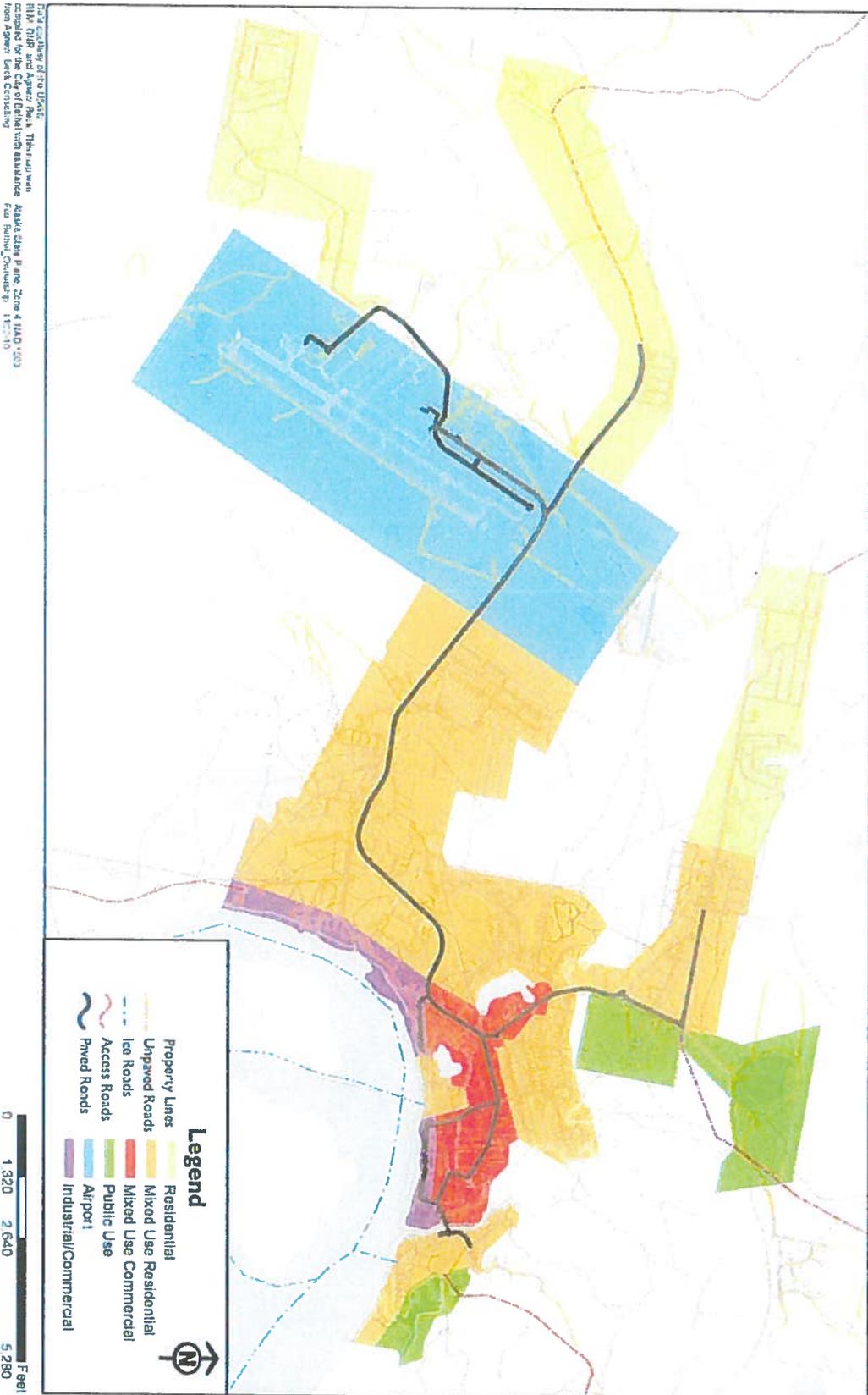
- 1. Airplane assembly, remodeling or repair.
- 2. Airports.
- 3. Machine shops.
- 4. Metal working or welding shops.
- 5. Sawmills.
- 6. Steel fabrication shops or yards.
- 7. Irethane foaming yards or plants.
- 8. Warehouses.
- 9. Shipping or receiving terminals.
- 10. Bulk fuel distribution and storage.
- 11. Cement manufacturing.
- 12. Distillation of wood, coal or bones.
- 13. Tannery.
- 14. Paper manufacturing.
- 15. Poison manufacturing.
- 16. Printing ink manufacturing.
- 17. Rock and stone crushing mill.
- 18. Natural resource extraction, such as a sandpit.
- 19. Cargo dock facility or freight transfer area.
- 20. Fish processing plants.
- 21. Fiberglass fabrication shops or yards.
- 22. Junk yards and salvage yards.
- 23. Land fills, solid waste processing facilities.
- 24. Sewage treatment facilities.
- 25. Other industrial uses of a character similar to those uses listed in this section.

26. Recreational uses, to include the Bethel shooting range. [Ord. 11-22 § 2; Ord. 01-05 § 8.]

Conditional Uses.

A. Planned unit developments. [Ord. 01-05 § 8.]

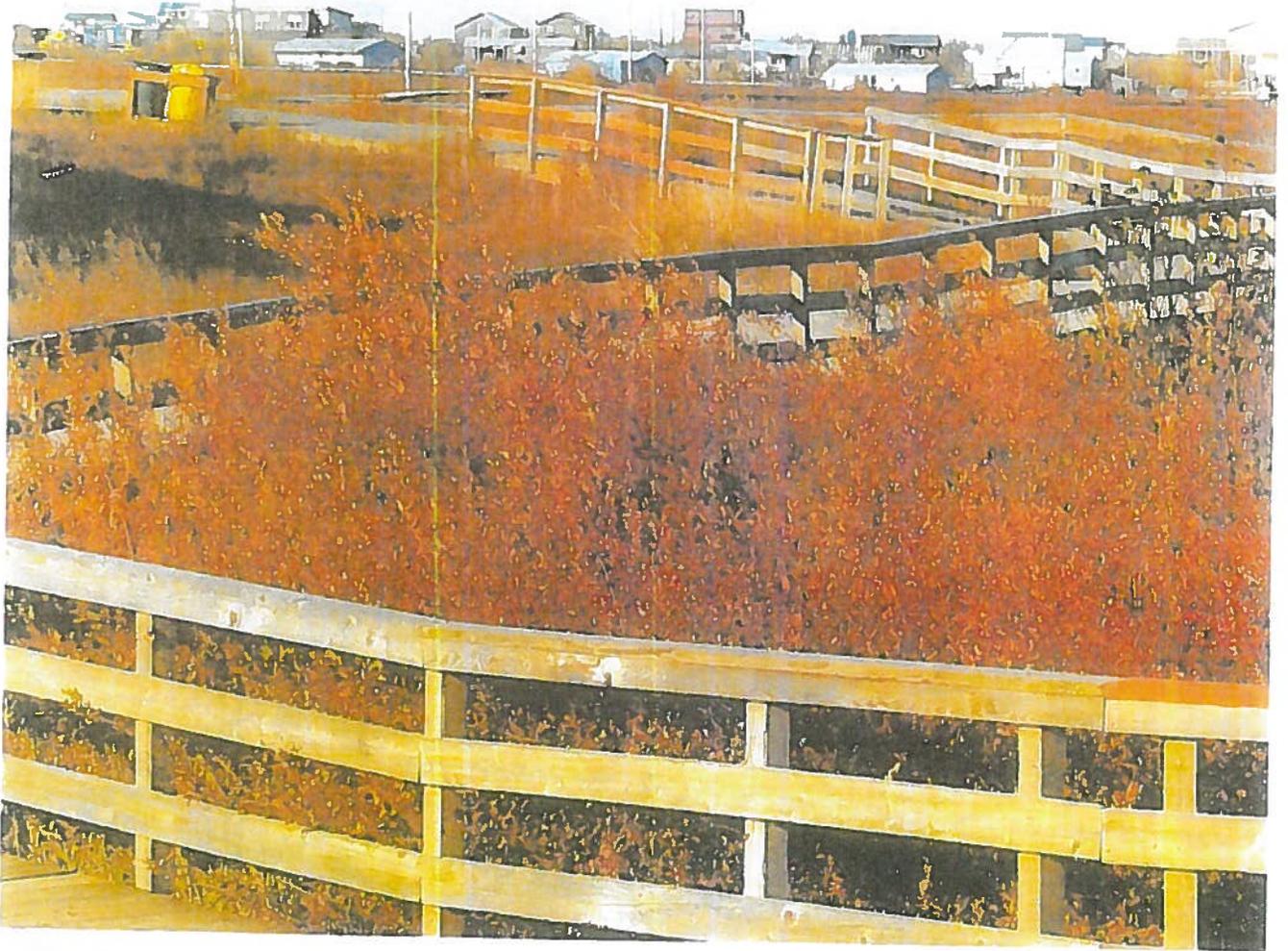
City of Bethel Future Land Use Plan Map



City of Bethel, Alaska
RMA, GIS, and Aerial Photo. The map was
compiled for the City of Bethel with assistance
from Aqwaq, Inc. Consulting

Alaska State Plane Zone 4 1140 1000
File: Bethel_Consulting 11/22/10

ATTACHMENT 7



BETHEL

COMPREHENSIVE PLAN

2035

AD007 D
SEPTEMBER 2011

prepared by AGNEW::BECK Consulting
for the City of Bethel, Alaska



Land Use Compatibility

GOAL 3: Provide for compatibility among adjoining land uses, so future development maintains or improves the quality of life or land values of surrounding uses.

Strategy 1: Review and revise Bethel land use regulations.

Action 1a: Examine existing Bethel code and existing land uses; revise and simplify land use designations to better fit the reality of Bethel's mixed use land use patterns.

A first suggestion for these uses includes the following categories:

- *Low density residential areas*
- *Mixed use - residential primary (residential and limited, residential-compatible uses)*
- *Mixed use (mix of commercial & residential, fewer constraints on size and character of commercial).*
- *Industrial/heavy commercial zone,*
- *Public Use*
- *Airport and related uses*

Action 1b: Use the generalized future land use designations in the Land Use Plan Map (Map 4.4), which broadly identifies areas intended for various uses, as the starting point for revising the zoning code in BMC Title 18 (Bethel zoning code).

For example,

- *Low density residential areas. This zone takes in several specific subdivisions, e.g., Tundra Ridge, Larson and Blueberry. In these areas uses should be generally limited to residential uses. Exceptions would be for small home-based businesses with minimal off-site impacts, or perhaps neighborhood serving commercial, such as a small grocery store.*
- *Mixed use. This use is intended to be the most common land use zone, made up of residential and residential-compatible uses. Examples of residential compatible uses include schools and other community serving, non-industrial facilities, and churches, office and professional services uses (e.g. health facilities), and neighborhood-serving commercial*
- *Industrial/Heavy Commercial. This zone is intended for uses that are generally incompatible with residential, and consequently need to be located where they do not disrupt adjoining residential or residential-compatible uses. This zone includes such uses as warehousing, storage, construction-related industries, marine and aviation-related industries. Key industrial locations include the tank farm, the port, the airport and portions of the waterfront between Second Avenue and the waterfront and the airport.*

Action 1c: Modify code to require a conditional use review process for large- scale uses or any other use likely to have significant off-site impacts.

Examples of such projects include a large scale public building, or a private use such as car repair.

ATTACHMENT 8

Photo # 1 of 4



Photo # 264



Photo # 3 of 4



Photo #4 of 4



ALL NOTICES WERE DONE IN COMPLIANCE WITH BETHEL
MUNICIPAL CODE 18.76.030



CITY OF BETHEL
Planning Office

NOTICE OF PUBLIC HEARING – ZONING APPLICATION

NOTICE IS HERBEY GIVEN that on Sept. 22, 2017, the City of Bethel Planning office received a Zoning Application to change the zoning from a Public Lands and Institution Use to a General Use area district.

APPLICANT: The City of Bethel, P.O. Box 1388, Bethel, AK. 99559. City Manager Pete Williams, phone 543-2047 ex. 223.

SITE LOCATION APPLIED FOR: Lot 1A of plat number 2006-25 block 1 and Lot 2 of plat number 99-12, the Courthouse Subdivision. Physical address are 204 Chief Eddie Hoffman Highway (the Nora Guinn Courthouse) and 350 Chief Eddie Hoffman Highway (City Hall.)

PURPOSE: To allow for multiple uses of the land that is afforded other properties in the area. The land was designated as a Public Lands and Institutions area district in 1990 and allowing it to be designated as a General Use district would enhance the value of the land for the City of Bethel.

HEARING DATE: At the regularly scheduled Planning Commission Meeting to be held on October 12, 2017 at City Hall Council Chambers, 350 Chief Eddie Hoffman Highway at 6:30 PM.

Betsy Jumper

Betsy Jumper, City Planner

I hereby certify that this Notice of Zoning Change Request has been posted at City Hall, Alaska Commercial Company Store (A.C), Swanson's Store, and the AC Quickstop store bulletin boards, on Sept. 25, 2017. It is further certified that this Notice will be published in the Delta Discovery Newspaper for two weeks, beginning the week of Sept. 25, 2017.

The Delta Discovery

For Sale

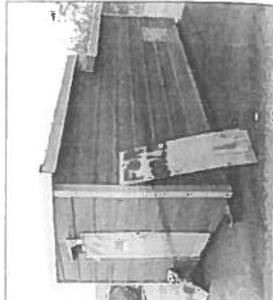
For Sale:
Hitzer Amish built woodstoves. UHMW Plastic sled runners. 543-2379 (11/3/1-cnx)

FOR SALE
300 Gallon Plastic Water Tanks in stock
Call Shorty at Shorty's Shop for pricing
543-3158 or 545-3157 (19/9/18-cnx)

18' SSV Lund with 60 hp high thrust Yamaha 20 inch shaft. About 150 hours on motor, maintained well with no problems. In excellent condition. Lund boat reinforced side and motor mount, no leaks. Minor dents. Asking \$11,000. Email me at boy4ever79@yahoo.com. (42/12/23-cnx)

For Sale: 10' x 20' Walk in cooler/freezer, unassembled. Complete with 6" floor, ceiling, wall panels & foundation beams. 4' door, 240V compressor, evaporators. Make an offer. Ron Kaiser 545-4936 (30/6/8-cnx)

House for Sale
2x2x4, freshly remodeled, 1 bedroom. Must be moved. 545-1890 (12/9/21-cnx)



Steambath for Sale at a reduced price!
\$10-000 \$8,500 Contact Shorty 545-3157 (12/6/21-cnx)

For Sale: Plastic Water Tanks
Only 31" wide, 70" high, 74" long, 500 Gallons, easily connect two for 1000 gallons! Fits through most doors for easy installation. Contact Shorty for pricing and information (907) 545-3157 (35/6/21-cnx)

Equipment for Sale
1984 - KALMAR LHMV28-1200 HD Mast Forklift;
1990 Ford Aeromax LT 9000 Tractor (blue), SWB Tandem, CAT DSL, 10 Spd STD, dual tanks, good rubber;
Steel Flat Deck Barge "OBI";
Steel River Tug/Pushboat "MV AKI". All located in Bethel. For more information call Dave at 907-545-1959 or 907-892-8496 (50/8/9-cnx)

For Rent

CLASSIFIEDS

October. \$3,750/mo for building. \$4,000/mo for building and garage. Call Chris 543-7600 (43/9/30-cnx)

Employment

Maintenance Laborer - Bethel
Alaska Housing Finance Corporation (AHFC)
\$25.96 hr. Union Position Excellent benefit package

Obtain a job description and online application at www.ahfc.us or a paper application may be picked up and submitted at the AHFC office located at 1029 Ridgcrest Dr., Bethel, AK. An AHFC application must be submitted for each position (a resume may be attached). APPLICATION MUST BE RECEIVED BY 5 p.m. September 29, 2017.

Public Housing Residents are encouraged to apply
EQUAL OPPORTUNITY EMPLOYER (80/9/20-27)

Real Estate

For Sale 23,500 square foot lot/down-town location on Chief Eddie Hoffman Highway (or State Highway) across from Fire Station. Serious offers only. 907-543-5552 (23/7/28-cnx)

235 Mission Lake RD
12820 FT all filled and leveled with 2 build-ings. One 22 by 34, 1496 sf 3plex. One 30 by 56, 1680 sf 3 plex. 545-0929. (29/9/21-cnx)

For Sale 630 PTARMIGAN STREET
Commercial Lot. \$165,000
630 PTARMIGAN STREET Commercial Lot. 15000 SF completely filled. Also a 24 x 56 4plex can be moved to it. 1900 SF building 545-0929 (24/4/12-cnx)



For Sale: 275 Schwalbe (10-Plex)
1-1 bedroom
9-2 bedrooms

New water/sewer system. Well water, 3000 gallon sewer tank. Central Heat (new). Appraised value plus City Sales tax. For more information please call Irv Kreider at 545-4312 (38/8/23-cnx)

Request for Proposals

PROPOSAL DOCUMENTS may be obtained from Dennis Cobos at (907) 543-4919 or at dennis_cobos@lksd.org.

PROPOSAL QUESTIONS should be directed to Dennis Cobos at (907) 543-4919 or at dennis_cobos@lksd.org

PROPOSAL DOCUMENTS must be mailed to:
Dennis Cobos
Contract Manager
Capital Projects Division
Lower Kuskokwim School District
P.O. Box 305
Bethel, Alaska 99559-0305

Note: For artists who wish to deliver proposals in person the location for delivery is:
Dennis Cobos
District Office, Room 232
Lower Kuskokwim School District
1004 Ron Edwards Way
Bethel, AK 99559-0305

Original proposals will be received until 3:00 p.m. local time on October 27, 2017. The proposals will then be distributed to the Selection Committee for evaluation. This committee's individual evaluations of the proposals will be presented to the Grant Manager of Capital Projects within 15 business days of the proposal due date. The winning artist will be notified by November 3, 2017.

Disadvantaged Business Enterprises are encouraged to respond.
Ad Dates: 9/24/17, 10/1/17, 10/8/17 (203/9/20-10/4)

Public Notice

VFW MEMBERSHIP Freedom isn't free, and millions of Americans have paid the price for the freedom we enjoy today. Since 1899, the Veterans of Foreign Wars has served those who served America. From writing veterans legislation and then leading the fight to get it through Congress, to community projects that benefit all Americans, the VFW is an opportunity for veterans to continue to serve. Contact the VFW Robert V. Lindsey Post #10041 at 543-2241 and ask what you can do for your community. (83/3/26-cnx)

Chevak Native Village
P.O. Box 140
Chevak, AK 99563

Ph. (907) 858-7428 Fax (907) 858-7819
To absent parent of B. E. S., address unknown; Chevav Native Village Tribe is in the process of adopting B. E. S., D. O. B. 08/08/2017. Contact Chevav Native Village Tribe for further information. You are hereby notified the adoption hearing set for September 2017. You have the right to appear in person or telephonically. To appear telephonically, call (907) 858-7428 or you may write to Chevav Native Village, P.O. Box 140, Chevak, AK 99563. (90/9/6-9/27)

claims will be forever barred DATED this 7th day of September, 2017.
Gary L. Stapp, #9009064
Attorney in Fact for
Elsie Dock Carl
c/o 225 Wendell Ave, Ste A
Fairbanks, AK 99701
(907) 452-4452 (11/9/13-27)

PUBLIC NOTICE

Notice to local contractors, labor unions, and private individuals
Newtok Village Council intends to solicit assistance from the Department of Defense's Innovative Readiness Training Program. The assistance will include the development of roads, quarry, house pads, and potential housing renovation to support the Mertanvik Relocation Project. The proposed assistance will take place at Mertanvik, Alaska, located on Nelson Island in 2019-2020. Local contractors, labor unions, and private individuals who wish to voice opposition to military assistance for this project may contact Romy Cadiente at (907) 237-6095 by Friday, October 13, 2017.

This announcement is for a multi-year project. Persons not filing comments within the time frame noted will be considered to have waived their objections to military assistance for this project. (123/9/20-27)

NOTICE OF PUBLIC HEARING - ZONING APPLICATION

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APPLICANT: City of Bethel, 350 Chief Eddie Hoffman Highway City Manager Pete Williams, phone 543-2047 ex. 223.

SITE LOCATION APPLIED FOR: Lot 1, Block 1, of the Courthouse Subdivision, Plat Number 99-12, Physical Address is 204 Chief Eddie Hoffman Highway

PURPOSE: To allow for multiple uses of the land that is afforded other properties in the area. The land was designated as a Public Lands and Institutions area district in 1990 and allowing it to be designated as a General Use district would enhance the value of the land for the City of Bethel

HEARING DATE: At the regularly scheduled Planning Commission meeting to be held on October 12, 2017.
TIME & PLACE OF HEARING: 6:30 PM, 1st floor Council Chambers, Bethel City Hall.

Betsy Jumper, City of Bethel Planner, 543-5603 (173/9/27-10/4)

RAVN from page 10

below:

Destination | Sample one-way fare
Fairbanks \$79
Bethel \$109
Kodiak \$129
Kotzebue \$129

IN THE SUPERIOR COURT FOR THE STATE OF ALASKA FOURTH JUDICIAL

To: Pete Williams, City Manager
From: Betsy Jumper, Planner
Subject: **Sept. Manager's Report**
Date: Sept. 29, 2017

Conditional Use Permit Proposed AC Package Liquor Store

The public hearing for the CUP for Alcohol will go on the October 12th Planning Commission meeting.

Tsikoyak Subdivision (Larson 2)

Dowl is going over the subdivision agreement as well as the preliminary plat.

ONC Subdivision

As of 9-15-17, the ONC consultant re-submitted a Preliminary Plat with changes made. Am going to submit the preliminary plat to the Fire Dept., Public Works, UUI, and AVEC for comments, as well as the Engineering firm.

Personnel: Had 4 job interviews for the Planning Assistant. Ms. Pauline Boratko is the new assistant, scheduled to begin on the 9th.

Sept. 14 Planning Commission Meeting: The Planning Commission met on the 14th.

Nuisance Items: Per the City Manager, have been gathering up/researching getting together packets on 2 nuisance properties. 2 other potential nuisances came up as well.

Zoning: The application for an amendment to the official map and land use code (the Courthouse Subdivision) is going to be on the October 12th Planning Commission meeting.

Training: I am daily going over the BMC, and, as time allows, doing a little bit of inputting addresses in the GIS system.